

SHEET NUMBER	SHEET TITLE
C000	SITE INFORMATION
C001	GENERAL NOTES
C200	BAGDAD ELEMENTARY SCHOOL EXISTING CONDITIONS
C201	BAGDAD ELEMENTARY SCHOOL DEMOLITION PLAN
C202	BAGDAD ELEMENTARY SCHOOL SITE IMPROVEMENTS PLAN
C300	EAST MILTON ELEMENTARY SCHOOL EXISTING CONDITIONS
C301	EAST MILTON ELEMENTARY SCHOOL DEMOLITION PLAN
C302	EAST MILTON ELEMENTARY SCHOOL SITE IMPROVEMENTS PLAN
C400	ADMIN BUILDING EXISTING CONDITIONS
C401	ADMIN BUILDING DEMOLITION PLAN BASE BID
C402	ADMIN BUILDING SITE IMPROVEMENTS PLAN BASE BID
C403	ADMIN BUILDING DEMOLITION PLAN ALT BID
C404	ADMIN BUILDING SITE IMPROVEMENTS PLAN ALT BID
C500	SITE DETAILS
C501	EROSION CONTROL DETAILS

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PROPERTY OWNER DR. KAREN BARBER, SUPERINTENDENT SANTA ROSA COUNTY SCHOOL BOARD 5086 CANAL ST MILTON, FL 32570 (850) 983-5150

DEVELOPER / PROJECT OWNER JOEY HARRELL, ASST. SUPT. FOR ADMIN SVCS. SANTA ROSA COUNTY SCHOOL BOARD 6544 FIREHOUSE ROAD MILTON, FL 32570

SITE DATA SUMMARY - BAGDAD ELEMENTARY SCHOOL

PROP. REFERENCE NO.	15-1N-28-0120-01800-0010
PROJECT AREA	± 19,000 SF

STREET ADDRESS

4512 FORSYTH ST MILTON, FL 32583

FLOOD ZONE

THE PARCELS SHOWN ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FLOOD FORM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
Х	120274	12113C	0431	Н	NOVEMBER 19, 2021

SITE DATA SUMMARY - EAST MILTON ELEMENTARY SCHOOL

PROP. REFERENCE NO.	02-1N-28-0000-05900-0000
PROJECT AREA	± 41,400 SF

STREET ADDRESS 5156 WARD BASIN RD MILTON, FL 32583

FLOOD ZONE

THE PARCELS SHOWN ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FLOOD FORM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
x	120274	12113C	0435	Н	NOVEMBER 19, 2021

SITE DATA SUMMARY - ADMIN BUILDING

PROP. REFERENCE NO. PROJECT AREA	28-2N-28-0000-00500-0000 ± 146,000 SF
STREET ADDRESS	6544 FIREHOUSE RD MILTON, FL 32570
FLOOD ZONE	THE PARCELS SHOWN ARE LO

THE PARCELS SHOWN ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FLOOD FORM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
х	120274	12113C	0320	Н	NOVEMBER 19, 2021



2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG



VICINITY MAP SECTION 15, TOWNSHIP 1N, RANGE 28



VICINITY MAP SECTION 02, TOWNSHIP 1N, RANGE 28



VICINITY MAP SECTION 28, TOWNSHIP 2N, RANGE 28

GENERAL

SITE INFORMATION

STATUS:	NOT F	OR CONST	PHASE III
PROJ. MGR.	DPJj	N/A	REVISION
CHECKED	DPJj	VERTICAL:	
DESIGNED	ALM	AS SHOWN	DRAWING NUMBER
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GENERAL NOTES

- NO DEVIATIONS FROM THE PROJECT PLANS OR SPECIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE ARCHITECT.
- 2. ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH SECTION 453 OF THE FLORIDA BUILDING CODE. STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES. LATEST EDITION AND ALL OTHER APPLICABLE CODES AND SPECIFICATIONS FOR BUILDING AND UTILITY INSTALLATION.
- 3. IN CASE OF A DISCREPANCY ON THESE DRAWINGS, BETWEEN THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES, OR BETWEEN THESE DRAWINGS AND CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT MUST BE MET. REPORT ANY DISCREPANCY TO ENGINEER PRIOR TO ACTION.
- 4. DAMAGE TO EXISTING SIDEWALKS, ASPHALT OR OTHER IMPROVEMENTS OUTSIDE THE PRIMARY PROJECT LIMITS DURING CONSTRUCTION WILL REQUIRE REPAIR AND/OR REPLACEMENT BY THE CONTRACTOR. AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE CONTRACTOR MUST PROVIDE THE ENGINEER WITH REDLINED DRAWINGS FOR THE ENGINEER'S USE IN PREPARING AS-BUILT CERTIFICATIONS AND AS-BUILT RECORD DRAWINGS FOR THE OWNER. AS-BUILT INFORMATION WILL INCLUDE BUT NOT BE LIMITED TO **REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.**

GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL

- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION (PRIOR TO CONSTRUCTION) AND MAINTENANCE/REPAIRS (DURING CONSTRUCTION) OF EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENT AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS SHOWN HEREIN REPRESENT THE RECOMMENDED MINIMUM EROSION CONTROL MEASURES TO BE TAKEN, AND CONTRACTOR MUST INCLUDE COSTS FOR ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES IN THEIR BASE BID.
- 2. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT PERMANENT COVER MUST BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITION AND RENDER IT SUITABLE FOR PERMANENT COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL BE EMPLOYED (I.E. EROSION CONTROL FABRIC, RIP-RAP, ETC.)
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES COVERAGE FOR THE PROPOSED CONSTRUCTION AREA, INCLUDING
- DEVELOPMENT OF THE NOTICE OF INTENT. STORM WATER POLLUTION PROTECTION PLAN DOCUMENTS, AND PERMIT APPLICATION FEE. 4. THE CONTRACTOR MUST MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL PLAN. AT A MINIMUM, INSPECTIONS WILL OCCUR AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM EVENT THAT IS ONE-HALF (0.50) INCH OR GREATER. ALL INSPECTIONS WILL BE DOCUMENTED.
- 5. IN THE EVENT THAT AN ON-SITE INSPECTION BY ANY PARTY REVEALS A DEFICIENCY IN THE INSTALLATION AND/OR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMMEDIATE REMEDIATION OF THE PROBLEM AT NO ADDITIONAL COST TO THE OWNER.
- 6. FAILURE TO COMPLY WITH THE REQUIRED EROSION AND SEDIMENT CONTROL GUIDELINES MAY RESULT IN FINES LEVIED BY GOVERNMENTAL AGENCIES. ANY FINES SUFFERED DUE TO NON-COMPLIANCE WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES IMPLEMENTATION SITE PREPARATION

- PRIOR TO ANY SOIL DISTURBANCE, SILT FENCE MUST BE INSTALLED ALONG ENTIRE PERIMETER OF PLANNED DISTURBANCE AS SHOWN IN PLANS AND DETAILS, OR BY EQUIVALENT MEASURES. SILT FENCE MUST REMAIN IN PLACE UNTIL ALL AREAS OF DISTURBANCE HAVE BEEN PERMANENTLY STABILIZED
- 2. A STABILIZED CONSTRUCTION ACCESS MUST BE ESTABLISHED AT ALL POINTS OF INGRESS/EGRESS FROM THE CONSTRUCTION SITE. AT A MINIMUM, ACCESS MUST INCLUDE ROCK INSTALLED ON TOP OF ENGINEERING FABRIC AS DETAILED IN THE PLANS. IF THIS MINIMUM ACCEPTABLE MEASURE DOES NOT COMPLETELY PREVENT OFFSITE TRACKING OF SOILS FROM THE CONSTRUCTION SITE, CONTRACTOR MUST SUPPLEMENT ADDITIONAL MEASURES SUCH AS INCREASING THE LENGTH OF THE ROCK ACCESS, ADDING A MANUAL HOSE WASHDOWN STATION, OR OTHER SIMILAR MEASURES. COSTS OF ANY AND ALL MEASURES NECESSARY TO PREVENT OFFSITE TRACKING OF SOILS MUST BE INCLUDED IN THE CONTRACTOR'S BASE BID AND ANY SUPPLEMENTAL MEASURES MUST BE PROVIDED AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR MUST ALSO INCLUDE IN THE BASE BID ALL COSTS ASSOCIATED WITH ONGOING MAINTENANCE AND REHAB OF ACCESS POINTS THROUGHOUT CONSTRUCTION AND THE REMOVAL OF ACCESS AND STABILIZATION OF THE ACCESS POINTS AFTER CONSTRUCTION OPERATIONS HAVE CEASED. ANY SOILS THAT ARE TRACKED OR OTHERWISE CARRIED OFFSITE MUST BE IMMEDIATELY REMOVED FROM ROADS AND DRAINAGE SYSTEMS, AND ALL COSTS FOR SUCH CLEANUP ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CLEARING AND GRUBBING

- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST RECEIVE A TEMPORARY SEEDING IMMEDIATELY UPON DISTURBANCE. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- 2. ALL DISTURBED AREAS THAT ARE SUBJECT TO HIGH AMOUNTS OF EROSION (I.E. STEEP SLOPES, EMBANKMENTS GREATER THAN 3:1, OR OTHER AS DICTATED BY SITE CONDITIONS) MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCHING WITH STRAW, OR EQUIVALENT MATERIAL, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL. 3. ALL DISTURBED AREAS MUST, AS A MINIMUM, BE MAINTAINED BY WATER TO MINIMIZE THE GENERATION OF DUST.

SITE GRADING

- 1. THE SITE MUST, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS CONTROLLED BY EROSION AND SEDIMENT CONTROL MEASURES
- 2. ALL AREAS USED FOR MATERIAL STOCKPILE. BE IT FILL/EXCAVATED MATERIALS. STONE. OR OTHERWISE. MUST BE STABILIZED. AND MUST HAVE SILT FENCE INSTALLED PER THE DETAILS PROVIDED IN THE PLANS. OR BY EQUIVALENT MEASURES. AROUND THEIR ENTIRE DOWNGRADE PERIMETER.

FINAL SITEWORK

- PERMANENT SOD MUST BE INSTALLED ON ALL EXPOSED AREAS WITHIN THREE (3) DAYS AFTER FINAL GRADING.
- 2. UPON COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL ACCEPTANCE, ALL CONSTRUCTION WASTE AND DEBRIS MUST BE REMOVED FROM THE SITE AND ALL PAVED ROADWAYS AND/OR PARKING AREAS WILL BE SWEPT CLEAN OF ALL SEDIMENT.
- 3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL SUCH TIME WHEN ALL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

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DEMOLITION NOTES

THE CONTRACTOR IS REMINDED THAT THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THESE DRAWINGS ARE ONLY THE MINIMUM REQUIREMENTS AND THAT CONTROL OF EROSIONS AND SEDIMENT IS AN ONGOING REQUIREMENT OF THE CONTRACT, FROM THE TIME OF INITIAL MOBILIZATION AND DISTURBANCE UNTIL THE TIME OF FINAL STABILIZATION AND DEMOBILIZATION. CONTRACTOR MUST INCLUDE IN THE BASE BID NOT ONLY THE INITIAL INSTALLATION OF ALL MEASURES NOTED ON THESE DRAWINGS BUT ALSO THE MAINTENANCE AND REHAB OF THE MEASURES AND INSTALLATION AS REQUIRED BY THE CONTRACTOR'S DESIRED STAGING AND SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE NPDES PROGRAM, INCLUDING CREATION AND CERTIFICATION OF THE CONTRACTOR'S OWN STORMWATER POLLUTION PREVENTION PLAN AND THE FULL AND COMPLETE PRICING, INSTALLATION, MAINTENANCE, AND REMOVAL OF THE EROSION CONTROL MEASURES REQUIRED BY THAT PLAN AND AS REQUIRED TO ENSURE COMPLIANCE WITH NPDES REQUIREMENTS

2. ALL OFF-SITE IMPROVEMENTS ARE TO BE PROTECTED UNLESS OTHERWISE NOTED. ANY DAMAGE TO OFF-SITE FEATURES RESULTING FROM CONTRACTOR'S ACTIONS MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACT MUST SUBMIT. TO THE ARCHITECT. A PRE-WORK REPORT DETAILING ANY EXISTING DAMAGED OR DETERIORATED FEATURES. FAILURE TO SUBMIT THIS REPORT WILL EQUAL AN ASSUMPTION OF NO DAMAGED OR DETERIORATED FEATURES. AND ANY SUCH DAMAGED DISCOVERED DURING FINAL INSPECTION WILL REQUIRE CORRECTION.

> **2022 PAVING RE MILTON**

EHAB - BAGDAD ES, EAST
ES, ADMIN BLDG

GENERAL **GENERAL NOTES**

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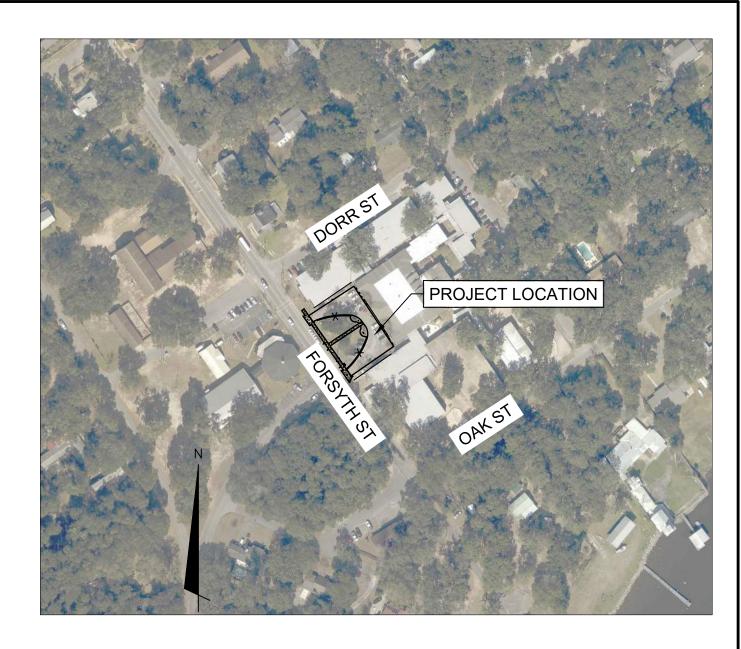


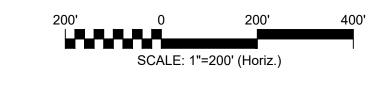
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BAGDAD ELEMENTARY SCHOOL EXISTING CONDITIONS







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EACH TEMPORARY STOCKPILE/LAYDOWN AREA TO HAVE ITS DOWNGRADE PERIMETER PROTECTED WITH SILT FENCE AT ALL TIMES. COORDINATE NUMBER, SIZE(S), AND LOCATION(S) OF SUCH AREA IN THE FIELD. SEE DETAIL 1/C501

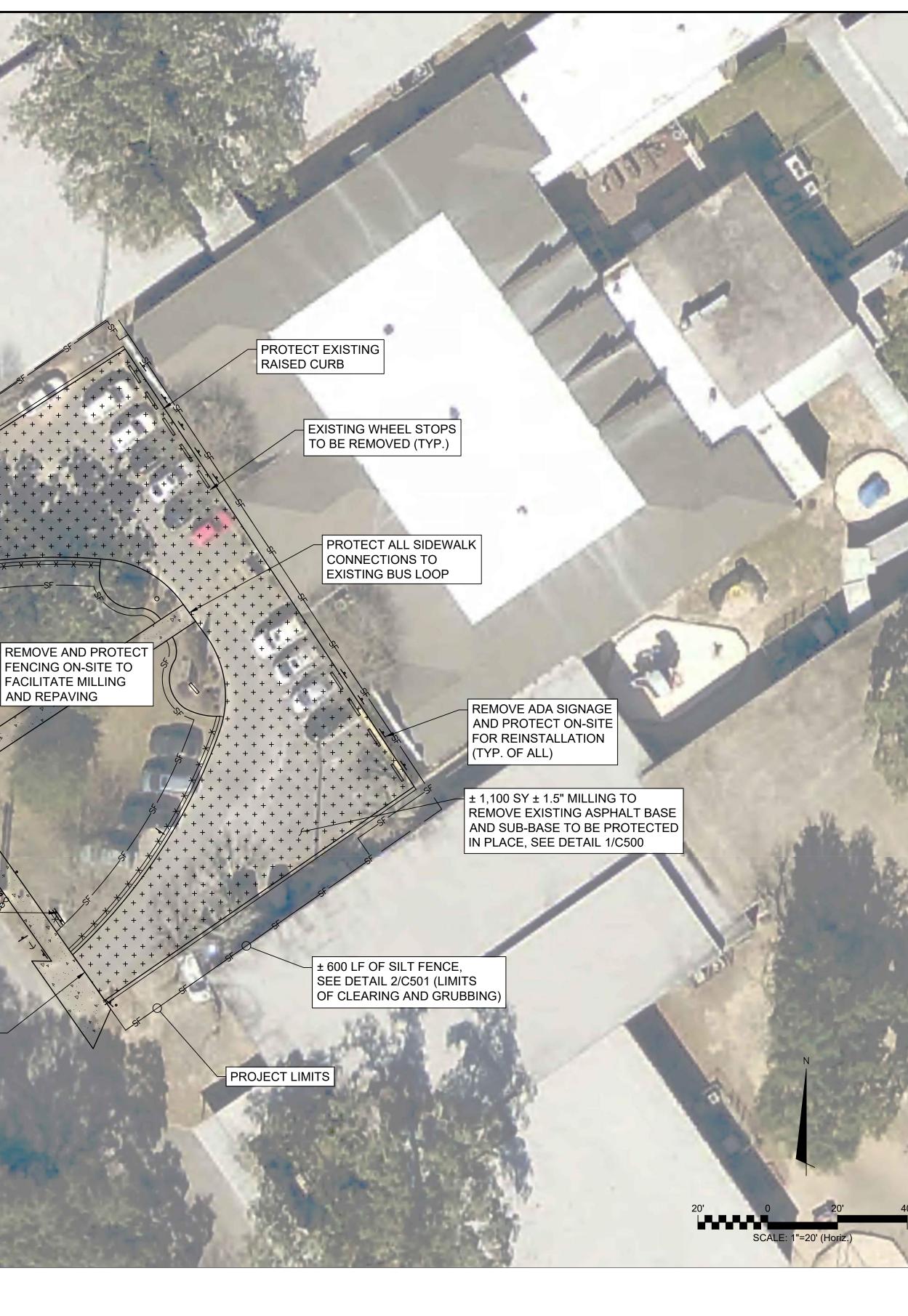
> PROTECT OFF-SITE ROADWAY AND MAINTAIN TRAFFIC AT ALL TIMES

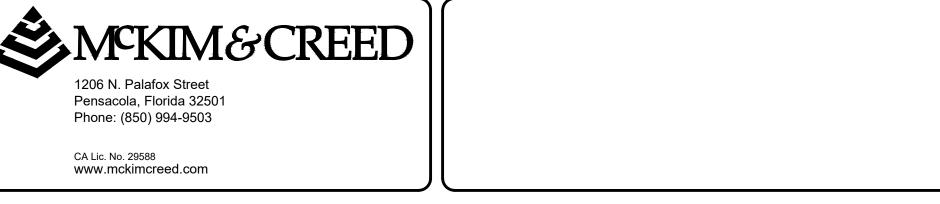
> > EXISTING SIGNAGE TO BE REMOVED AND PROTECTED FOR REUSE AS NEEDED TO FACILITATE MILLING AND REPAVING

> > > LIMITS OF NEW ASPHALT MILLING

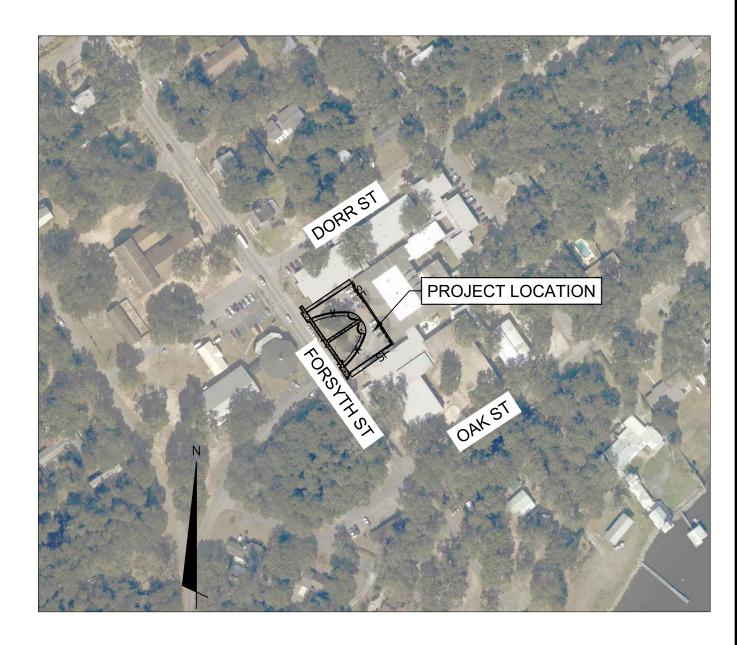
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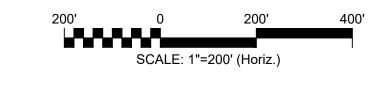
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BAGDAD ELEMENTARY SCHOOL DEMOLITION PLAN

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NEW ADA PARKING STALL. REINSTALL EXISTING ADA SIGNS ON NEW POSTS TO MEET REQUIREMENT FOR NEW STALLS. FURNISH AND INSTALL ADDITIONAL SIGNS IF NECESSARY. SEE DETAILS 2, 3, AND 4/C500

> NEW STANDARD PARKING STALL AND WHEEL STOP, SEE DETAILS 5, AND 6/C500

> > ±1,100 SY OF NEW ASPHALT OVERLAY, SEE DETAIL 1/C500

NEW DIRECTIONAL ARROW (TYP. OF 2), SEE DETAIL 9/C500

NEW VEHICLE STOP BAR, SEE DETAIL 11/C500

12.0 -

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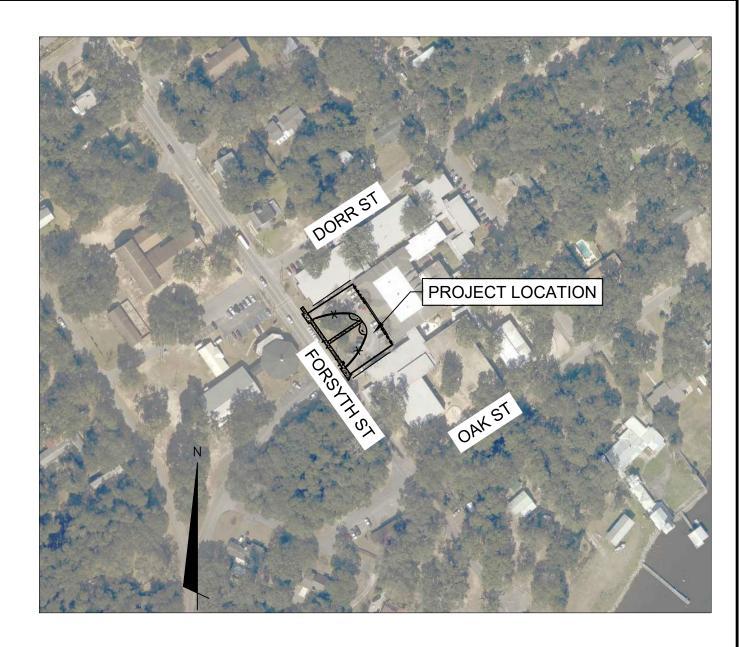
BAGDAD ELEMENTARY SCHOOL SITE IMPROVEMENTS PLAN

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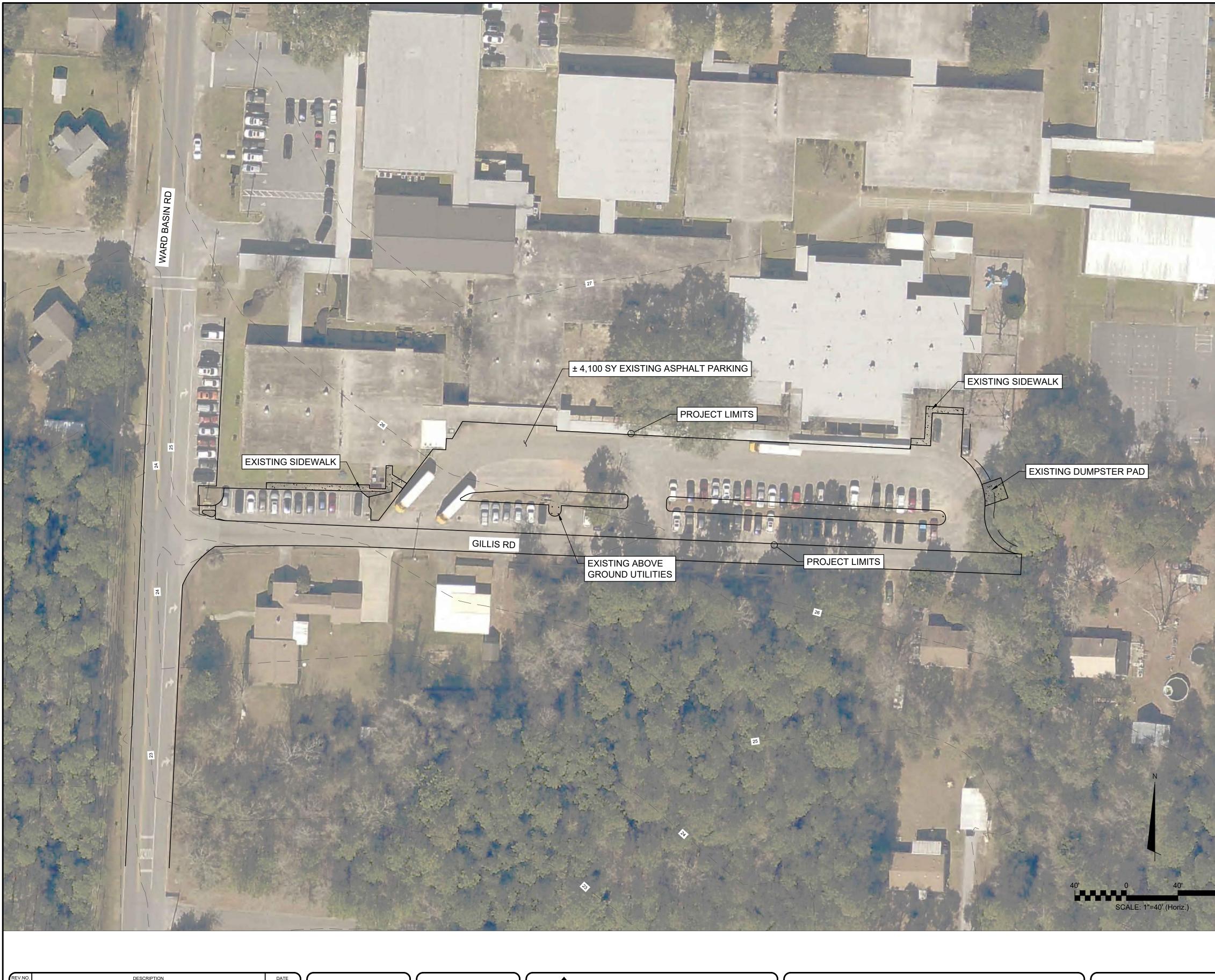


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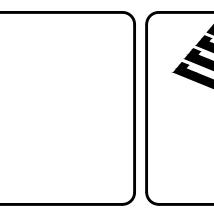
2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

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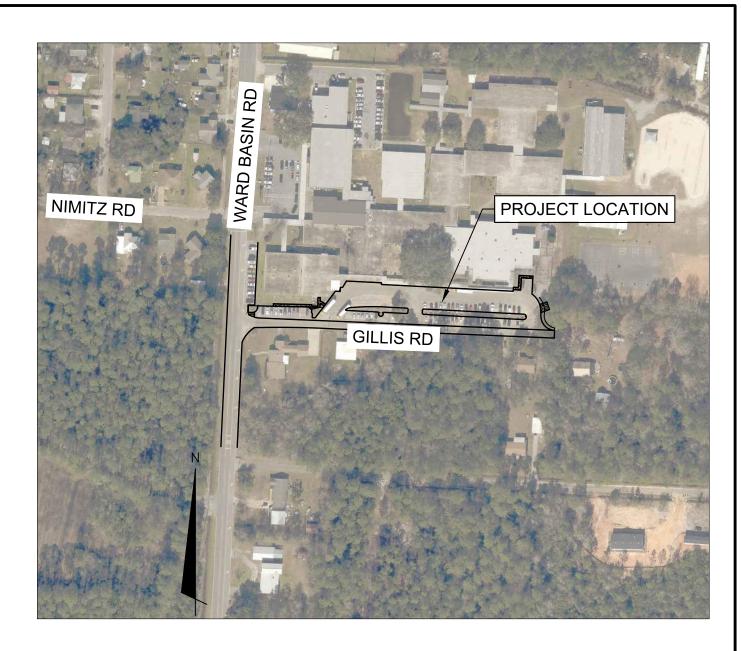
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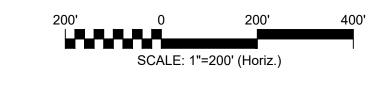


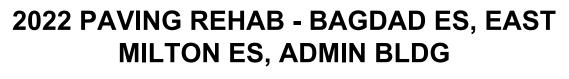
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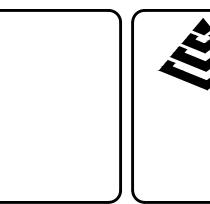
EAST MILTON ELEMENTARY SCHOOL **EXISTING CONDITIONS**

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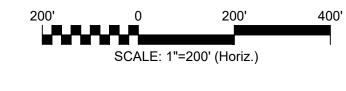
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EAST MILTON ELEMENTARY SCHOOL **DEMOLITION PLAN**

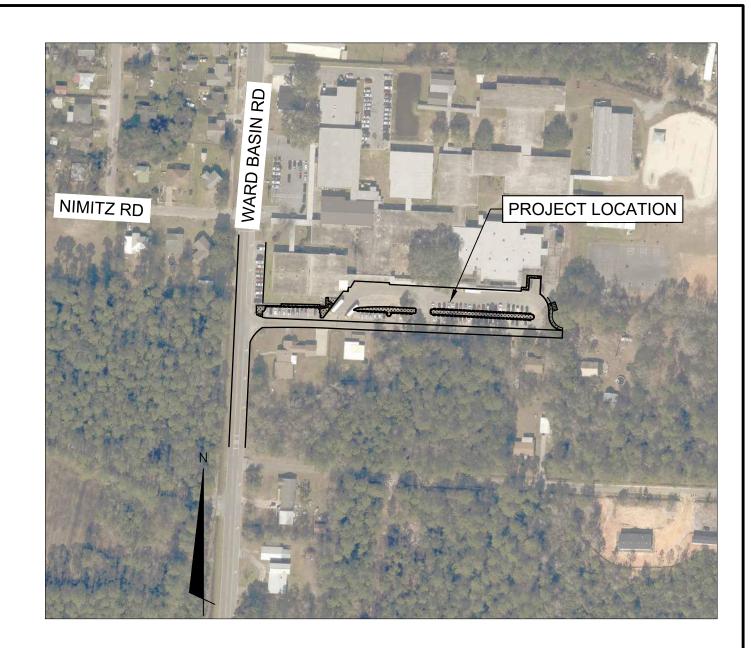
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200' 400' SCALE: 1"=200' (Horiz.)

2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

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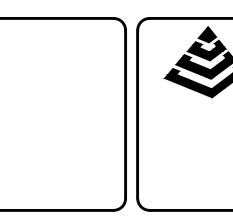
EAST MILTON ELEMNTARY SCHOOL SITE **IMPROVEMENTS PLAN**

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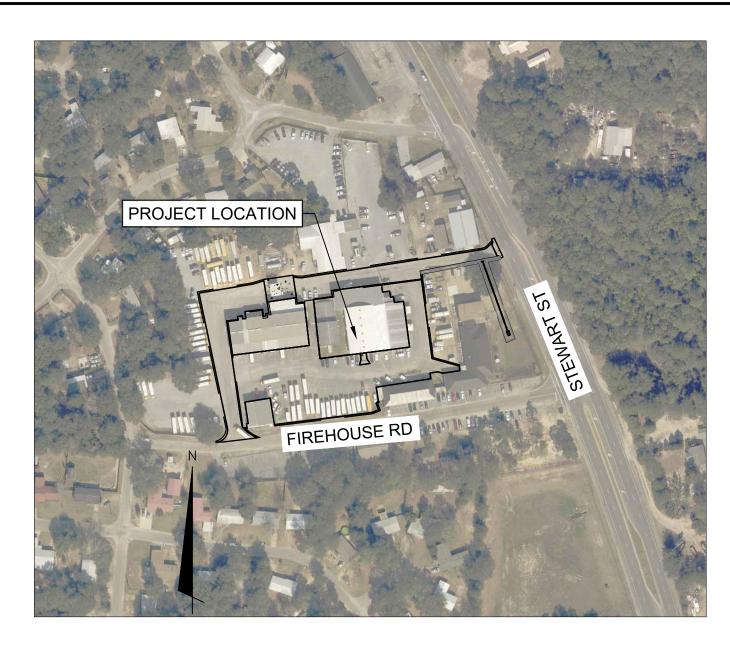
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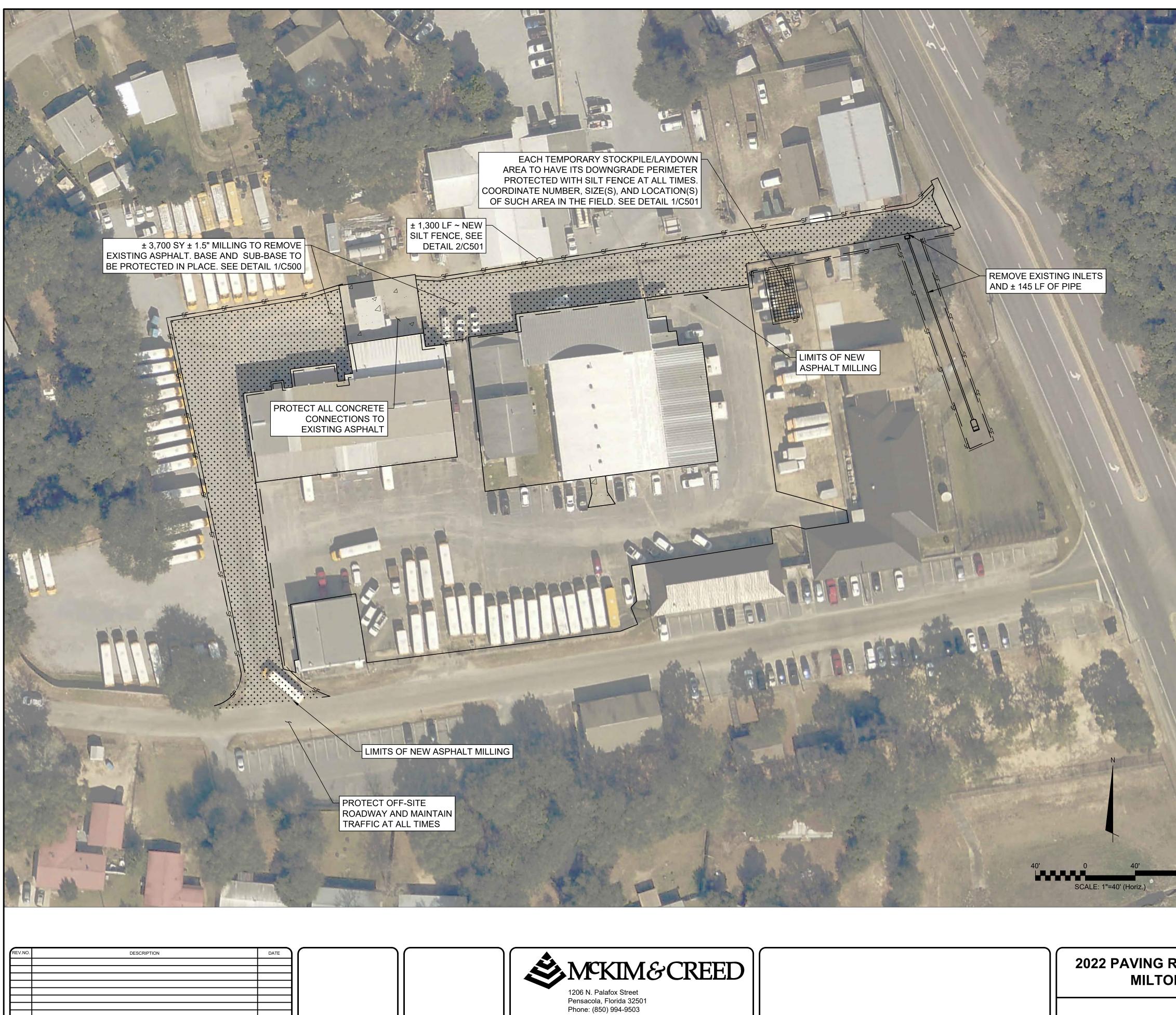
2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

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ADMIN BUILDING EXISTING CONDITIONS

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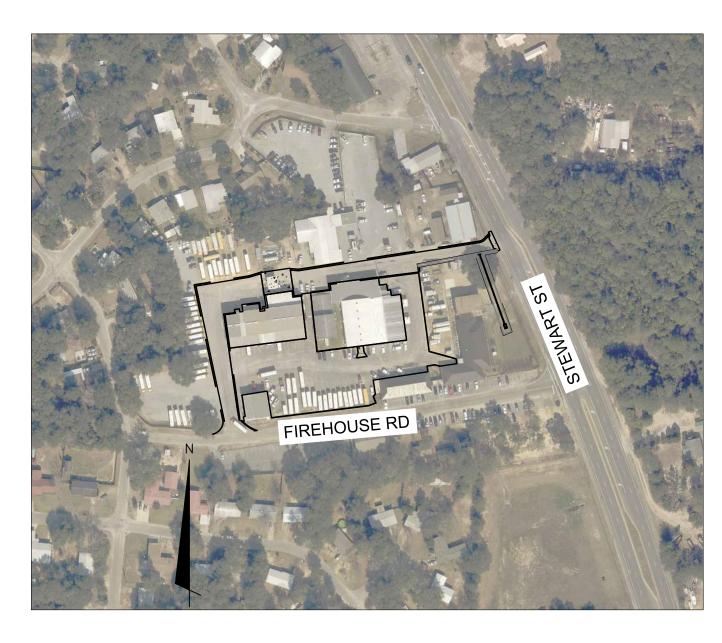
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\\MCKIMCREED.COM\NASUNI\DATA\PROJ\07617\0028\ENG\80-DRAWINGS\CIVIL\C401 ? ADMIN BUILDING DEMOLITION PLAN BASE BID.DWG 08/09/2022 10:49:39 ALEX MAINIERO



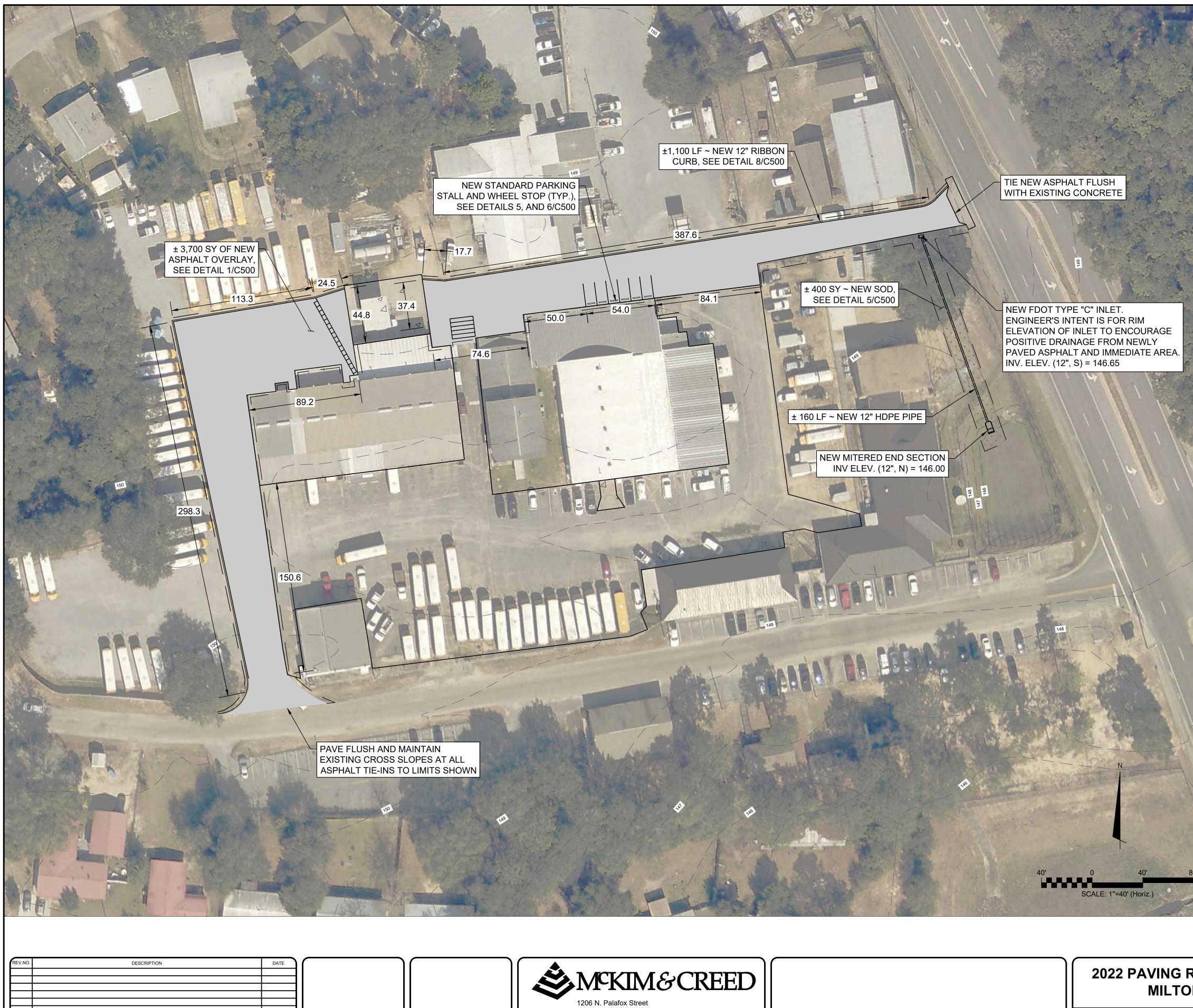
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2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

CIVIL

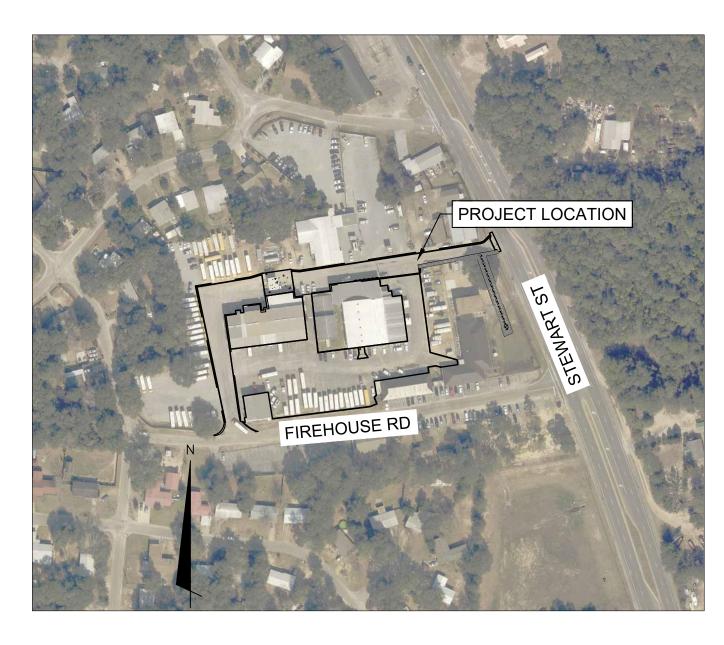
ADMIN BUILDING DEMOLITION PLAN BASE BID

PLOT DATE:	2022-07-26	SCALE	(
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DESIGNED	ALM	AS SHOWN	DRAWING NUMBER	
CHECKED	DPJj	VERTICAL:		
PROJ. MGR.	DPJj	N/A	-	
		\square	REVISION	
STATUS:			PHASE III	
NOT FOR CONSTRUCTION				



	/CKI	M&	CRE	ED
Per	06 N. Palafox Sf nsacola, Florida one: (850) 994-{	32501		

REVISIONS



200' U SCALE: 1"=200' (Horiz.) 400'

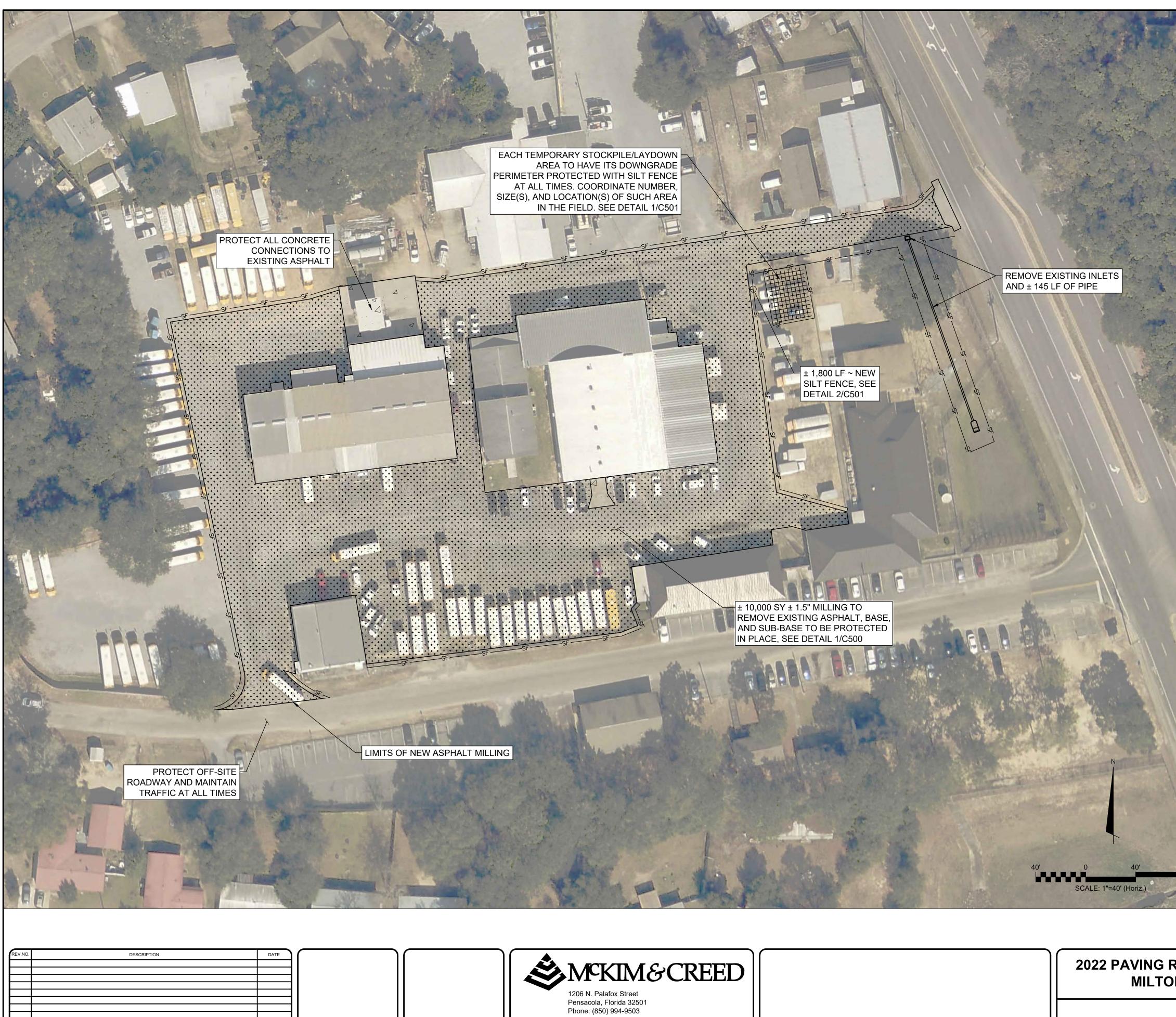
2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

CIVIL

ADMIN BUILDING SITE IMPROVEMENTS PLAN BASE BID

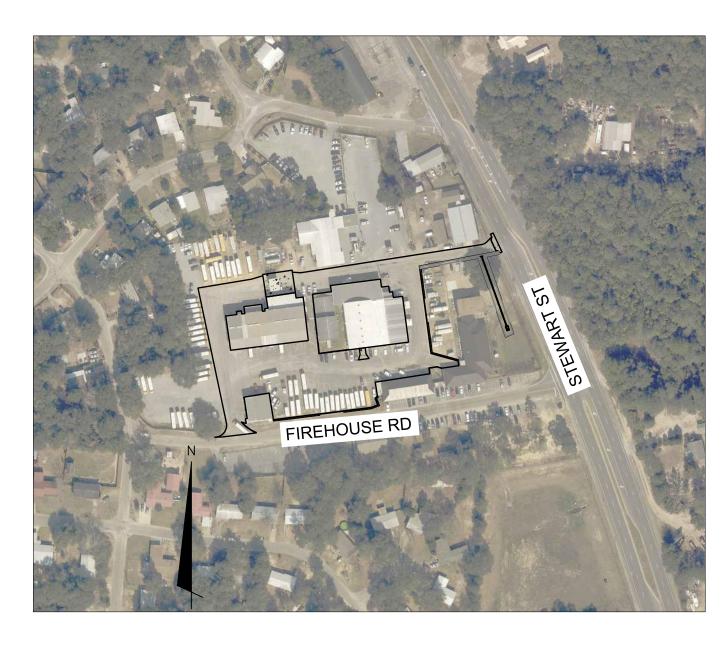
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DESIGNED	ALM	AS SHOWN	DRAWING NUMBER
CHECKED	DPJj	VERTICAL:	
PROJ. MGR.	DPJj	N/A	REVISION
			NEVISION
STATUS:			

\\MCKIMCREED.COM\NASUNI\DATA\PROJ\07617\0028\ENG\80-DRAWINGS\CIVIL\C402 ? ADMIN BUILDING SITE IMPROVEMENTS PLAN BASE BID.DWG 08/09/2022 10:50:24 ALEX MAINIERO



REVISIONS

2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG



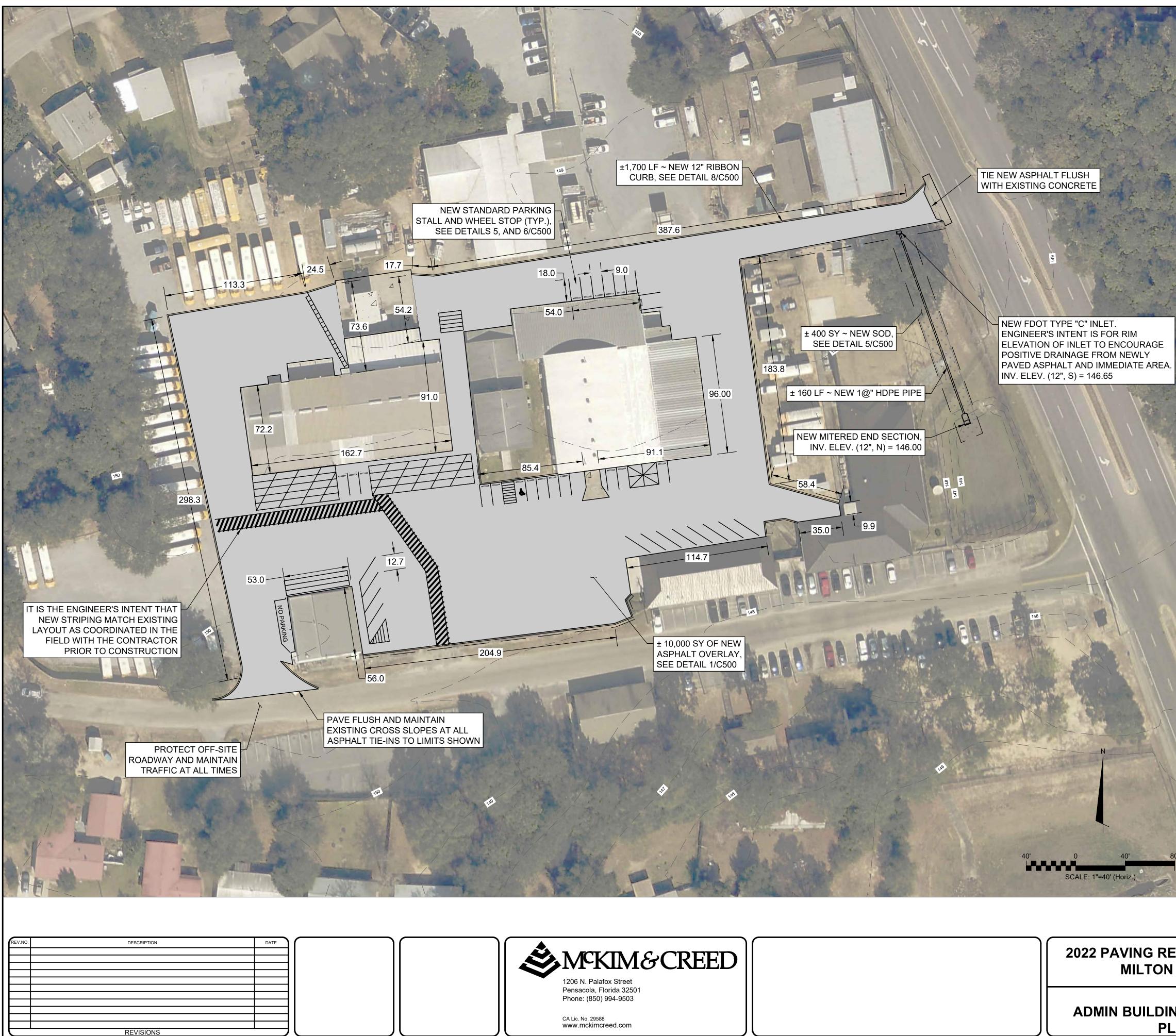
∠00' 0 SCALE: 1"=200' (Horiz.) 400'

CIVIL

ADMIN BUILDING DEMOLITION PLAN ALT BID

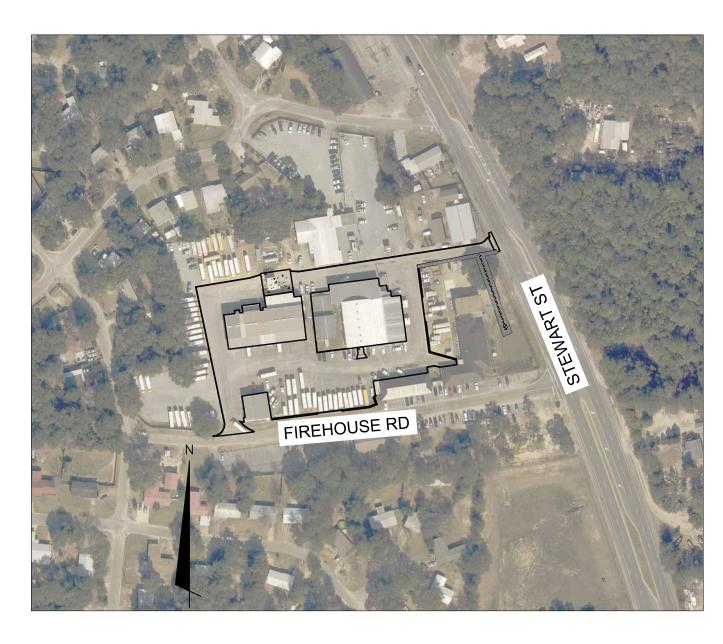
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CHECKED	DPJj	VERTICAL:			
PROJ. MGR.	DPJj	N/A			
		\square	REVISION		
STATUS: PHASE III					
NOT FOR CONSTRUCTION					

\\MCKIMCREED.COM\NASUNI\DATA\PROJ\07617\0028\ENG\80-DRAWINGS\CIVIL\C403 ? ADMIN BUILDING DEMOLITION PLAN ALT BID.DWG 08/09/2022 10:51:15 ALEX MAINIERO



>	MCKIM&CREED
	1206 N. Palafox Street Pensacola, Florida 32501 Phone: (850) 994-9503

ADMIN BUILDING SITE IMPROVEMENTS PLAN ALT BID



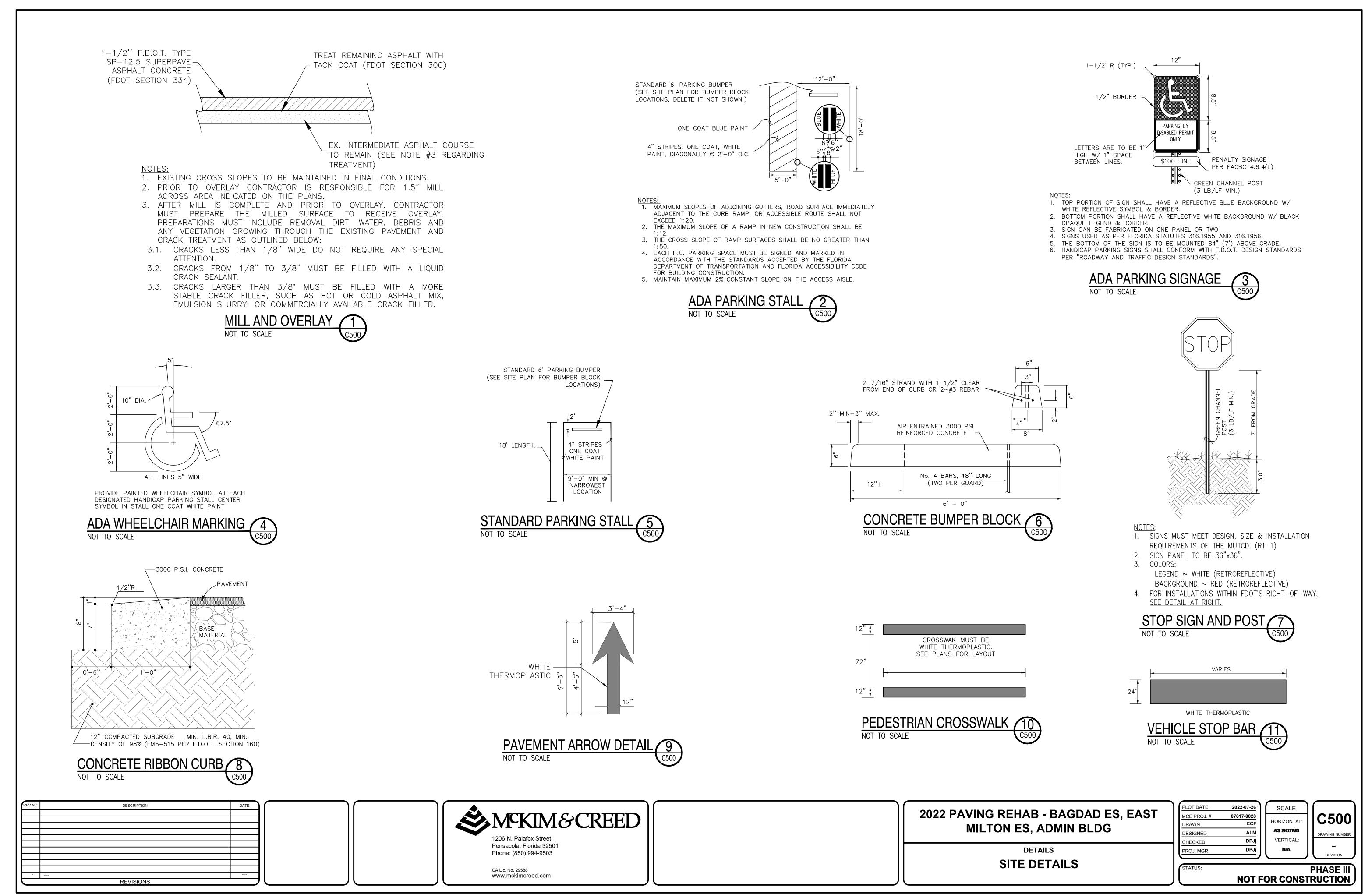
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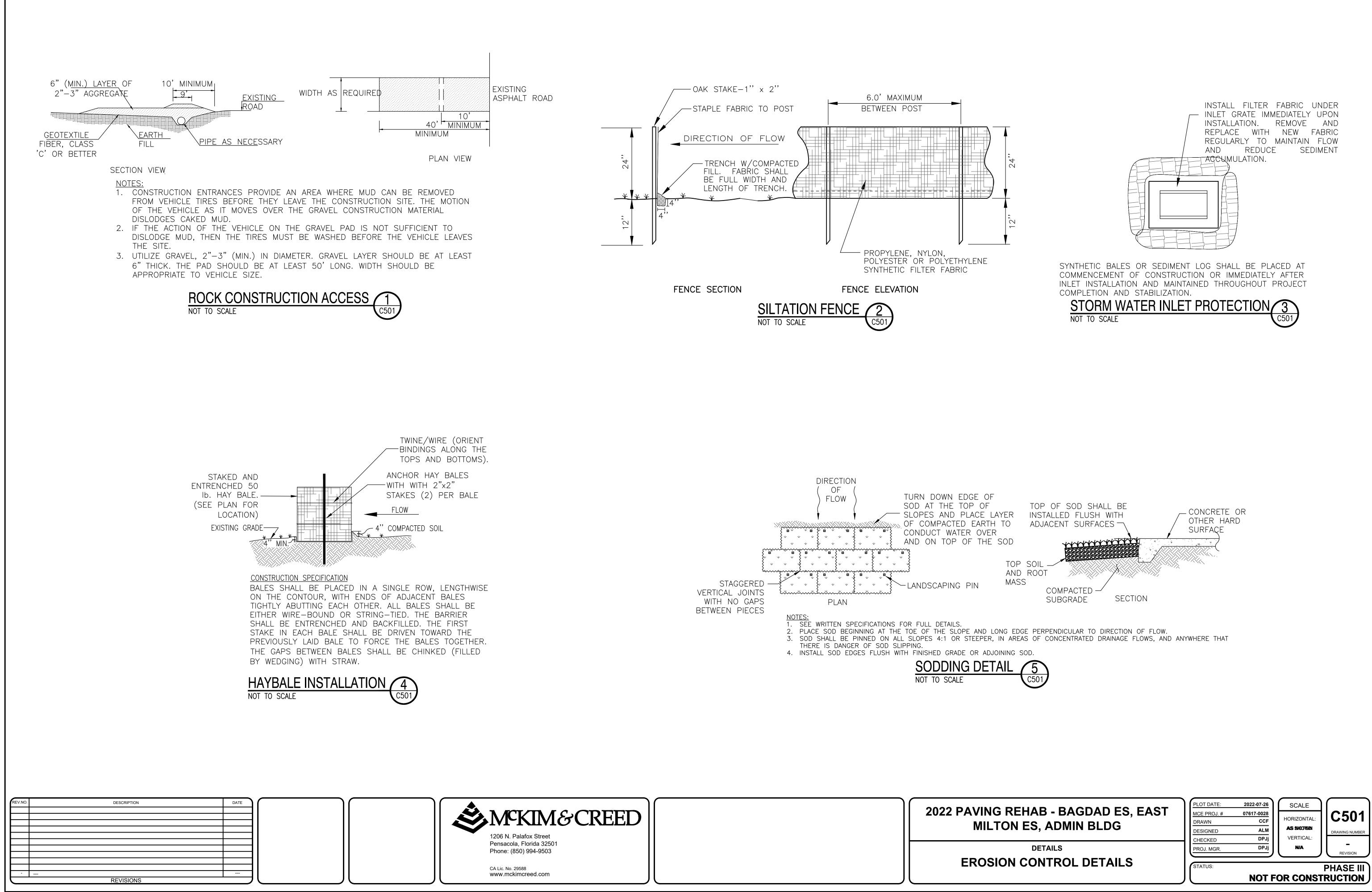
2022 PAVING REHAB - BAGDAD ES, EAST MILTON ES, ADMIN BLDG

CIVIL

PLOT DATE:	2022-07-26	SCALE	()	
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DESIGNED	ALM	AS SHOWN	DRAWING NUMBER	
CHECKED	DPJj	VERTICAL:		
PROJ. MGR.	DPJj	N/A		
		\square	REVISION	
STATUS:			PHASE III	
NOT FOR CONSTRUCTION				

\\MCKIMCREED.COM\NASUNI\DATA\PROJ\07617\0028\ENG\80-DRAWINGS\CIVIL\C404 ? ADMIN BUILDING SITE IMPROVEMENTS PLAN ALT BID.DWG 08/09/2022 10:51:38 ALEX MAINIERO





\\MCKIMCREED.COM\NASUNI\DATA\PROJ\07617\0028\ENG\80-DRAWINGS\CIVIL\C500 ? SITE DETAILS.DWG 08/09/2022 10:51:50 ALEX MAINIERO