

GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL

- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION (PRIOR TO CONSTRUCTION) AND MAINTENANCE/REPAIRS (DURING CONSTRUCTION) OF EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENT AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS SHOWN HEREIN REPRESENT THE RECOMMENDED MINIMUM EROSION CONTROL MEASURES TO BE TAKEN, AND CONTRACTOR MUST INCLUDE COSTS FOR ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES IN HIS BASE BID.
- AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT PERMANENT COVER MUST BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITION AND RENDER IT SUITABLE FOR PERMANENT COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL BE EMPLOYED (I.E. EROSION CONTROL FABRIC, RIP-RAP, ETC.).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES COVERAGE FOR THE PROPOSED CONSTRUCTION AREA, INCLUDING DEVELOPMENT OF THE NOTICE OF INTENT, STORM WATER POLLUTION PROTECTION PLAN DOCUMENTS, AND PERMIT APPLICATION FEE.
- THE CONTRACTOR MUST MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL PLAN. AT A MINIMUM, INSPECTIONS WILL OCCUR AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM EVENT THAT IS ONE-HALF (0.50) INCH OR GREATER. ALL INSPECTIONS WILL BE DOCUMENTED.
- IN THE EVENT THAT AN ON-SITE INSPECTION BY ANY PARTY REVEALS A DEFICIENCY IN THE INSTALLATION AND/OR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMMEDIATE REMEDIATION OF THE PROBLEM AT NO ADDITIONAL COST TO THE OWNER.
- FAILURE TO COMPLY WITH THE REQUIRED EROSION AND SEDIMENT CONTROL GUIDELINES MAY RESULT IN FINES LEVIED BY GOVERNMENTAL AGENCIES. ANY FINES SUFFERED DUE TO NON-COMPLIANCE WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES IMPLEMENTATION SITE PREPARATION

- PRIOR TO ANY SOIL DISTURBANCE, SILT FENCE MUST BE INSTALLED ALONG ENTIRE DOWN-GRADE PERIMETER OF PLANNED DISTURBANCE AS SHOWN IN PLANS AND DETAILS, OR BY EQUIVALENT MEASURES. SILT FENCE MUST REMAIN IN PLACE UNTIL ALL UP-GRADE AREAS OF DISTURBANCE HAVE BEEN PERMANENTLY STABILIZED.
- A STABILIZED CONSTRUCTION ACCESS MUST BE ESTABLISHED AT ALL POINTS OF INGRESS/EGRESS FROM THE CONSTRUCTION SITE. AT A MINIMUM, ACCESS MUST INCLUDE ROCK INSTALLED ON TOP OF ENGINEERING FABRIC AS DETAILED IN THE PLANS. IF THIS MINIMUM ACCEPTABLE MEASURE DOES NOT COMPLETELY PREVENT OFFSITE TRACKING OF SOILS FROM THE CONSTRUCTION SITE, CONTRACTOR MUST SUPPLEMENT ADDITIONAL MEASURES SUCH AS INCREASING THE LENGTH OF THE ROCK ACCESS, ADDING A MANUAL HOSE WASHDOWN STATION, OR OTHER SIMILAR MEASURES. COSTS OF ANY AND ALL MEASURES NECESSARY TO PREVENT OFFSITE TRACKING OF SOILS MUST BE INCLUDED IN THE CONTRACTOR'S BASE BID AND ANY SUPPLEMENTAL MEASURES MUST BE PROVIDED AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR MUST ALSO INCLUDE IN THE BASE BID ALL COSTS ASSOCIATED WITH ONGOING MAINTENANCE AND REHAB OF ACCESS POINTS THROUGHOUT CONSTRUCTION AND THE REMOVAL OF ACCESS AND STABILIZATION OF THE ACCESS POINTS AFTER CONSTRUCTION OPERATIONS HAVE CEASED. ANY SOILS THAT ARE TRACKED OR OTHERWISE CARRIED OFFSITE MUST BE IMMEDIATELY REMOVED FROM ROADS AND DRAINAGE SYSTEMS, AND ALL COSTS FOR SUCH CLEANUP ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CLEARING AND GRUBBING

- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST RECEIVE A TEMPORARY SEEDING IMMEDIATELY UPON DISTURBANCE. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- ALL DISTURBED AREAS THAT ARE SUBJECT TO HIGH AMOUNTS OF EROSION (I.E. STEEP SLOPES, EMBANKMENTS GREATER THAN 3:1, OR OTHER AS DICTATED BY SITE CONDITIONS) MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCHING WITH STRAW, OR EQUIVALENT MATERIAL, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ALL DISTURBED AREAS MUST, AS A MINIMUM, BE MAINTAINED BY WATER TO MINIMIZE THE GENERATION OF DUST.

SITE GRADING

- THE SITE MUST, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS CONTROLLED BY EROSION AND SEDIMENT CONTROL MEASURES.
- ALL AREAS USED FOR MATERIAL STOCKPILE, BE IT FILL/EXCAVATED MATERIALS, STONE, OR OTHERWISE, MUST BE STABILIZED, AND MUST HAVE SILT FENCE INSTALLED PER THE DETAILS PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES, AROUND THEIR ENTIRE DOWNGRADE PERIMETER.

FINAL SITEWORK

- PERMANENT SOD MUST BE INSTALLED ON ALL EXPOSED AREAS WITHIN THREE (3) DAYS AFTER FINAL GRADING.
- UPON COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL ACCEPTANCE, ALL CONSTRUCTION WASTE AND DEBRIS MUST BE REMOVED FROM THE SITE AND ALL PAVED ROADWAYS AND/OR PARKING AREAS WILL BE SWEEP CLEAN OF ALL SEDIMENT.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL SUCH TIME WHEN ALL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

GENERAL NOTES

- NO DEVIATIONS FROM THE PROJECT PLANS OR SPECIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
- ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH SECTION 453 OF THE FLORIDA BUILDING CODE, STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES, LATEST EDITION AND ALL OTHER APPLICABLE CODES AND SPECIFICATIONS FOR BUILDING AND UTILITY INSTALLATION.
- IN CASE OF A DISCREPANCY ON THESE DRAWINGS, BETWEEN THESE A DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES, OR BETWEEN THESE DRAWINGS AND CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT MUST BE MET. REPORT ANY DISCREPANCY TO ENGINEER PRIOR TO ACTION.
- LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN ON PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. IDENTIFY AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
- DAMAGE TO EXISTING SIDEWALKS, ASPHALT OR OTHER IMPROVEMENTS OUTSIDE THE PRIMARY PROJECT LIMITS DURING CONSTRUCTION WILL REQUIRE REPAIR AND/OR REPLACEMENT BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR MUST PROVIDE THE ENGINEER WITH REDLINED DRAWINGS FOR THE ENGINEER'S USE IN PREPARING AS-BUILT CERTIFICATIONS AND AS-BUILT RECORD DRAWINGS FOR THE OWNER. AS-BUILT INFORMATION WILL INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES TO/LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.



VICINITY MAP

SECTION 4, TOWNSHIP 3S, RANGE 29

PROPERTY OWNER

DR. KAREN BARBER, SUPERINTENDENT  
SANTA ROSA COUNTY SCHOOL BOARD  
5086 CANAL ST  
MILTON, FL 32570  
(850) 983-5150

DEVELOPER / PROJECT OWNER

JOEY HARRELL, ASST SUPT FOR ADMIN SVCS  
SANTA ROSA COUNTY SCHOOL BOARD  
6544 FIREHOUSE ROAD  
MILTON, FL 32570

SITE DATA SUMMARY

PROP. REF. NO. 04-3S-29-0000-00500-0000  
PARCEL AREA 72 ACRES  
PROJECT AREA

STREET ADDRESS 549 GULF BREEZE PARKWAY  
GULF BREEZE, FLORIDA 32561

CURRENT USE PUBLIC SCHOOL  
ZONING P (PUBLIC LANDS)  
FUTURE LAND USE PI

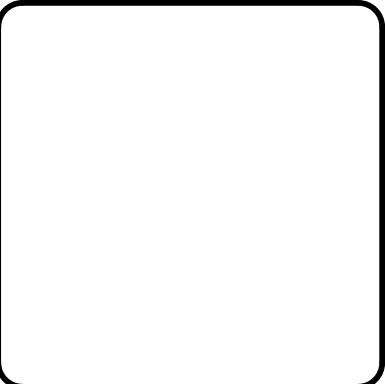
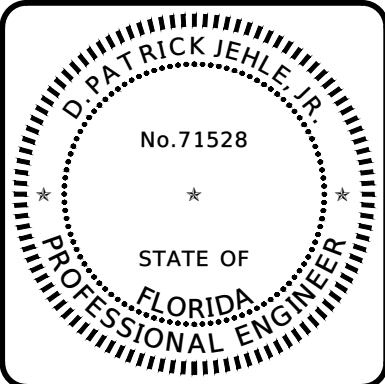
FLOOD ZONE THE PARCELS SHOWN ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FORM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE (S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
X	120275	12113C	0606	H	NOVEMBER 19, 2021

Sheet List Table

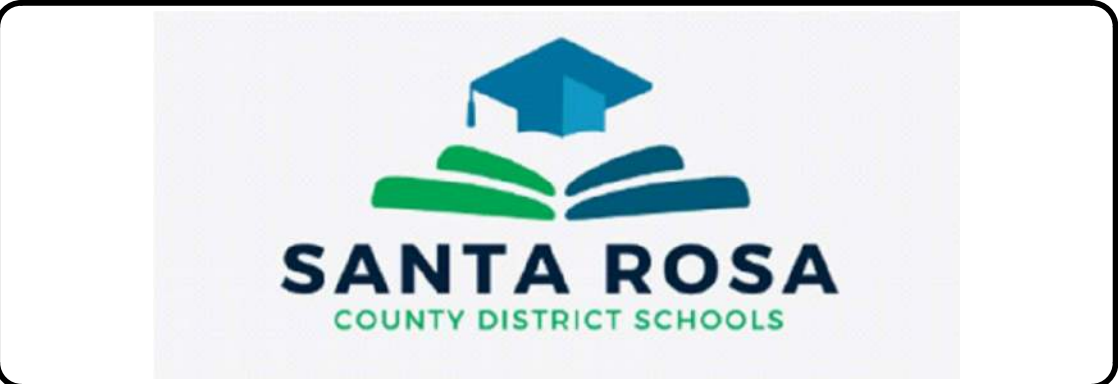
Sheet Number	Sheet Title
C-000	NOTES & INFORMATION
C-100	EXISTING SITE CONDITIONS
C-200	SITE DEMOLITION PLAN
C-300	SITE IMPROVEMENTS PLAN
C-400	SITE EROSION CONTROL DETAILS
C-410	SITE CONSTRUCTION DETAILS

REV. NO.	DESCRIPTION	DATE
REVISIONS		





**McKIM & CREED**  
1206 N. Palafox Street  
Pensacola, Florida 32501  
Phone: (850) 994-9503  
CA Lic. No. 29588  
www.mckimcreed.com



**GULF BREEZE HS NEW TENNIS COURTS**

**GENERAL**  
**NOTES & INFORMATION**

PLOT DATE:	2022-07-18
MCE PROJ. #	07817-0023
DRAWN	ALM
DESIGNED	ALM
CHECKED	DPJJ
PROJ. MGR.	DPJJ

SCALE
HORIZONTAL: AS SHOWN
VERTICAL: N/A
















**C-000**

DRAWING NUMBER  
-  
REVISION

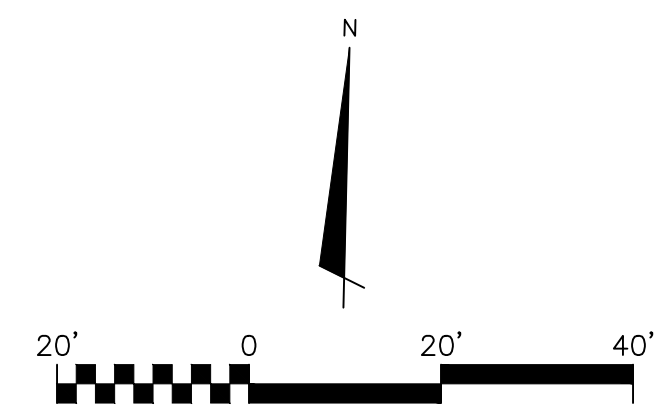
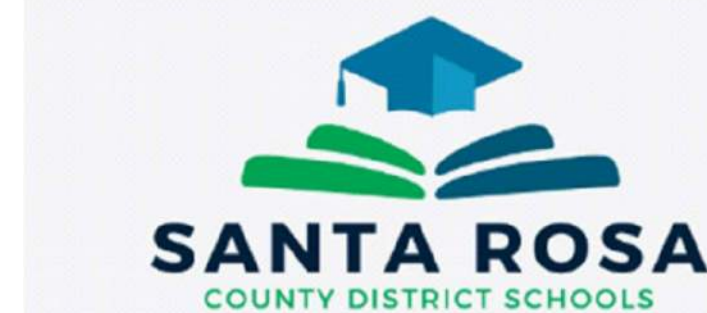
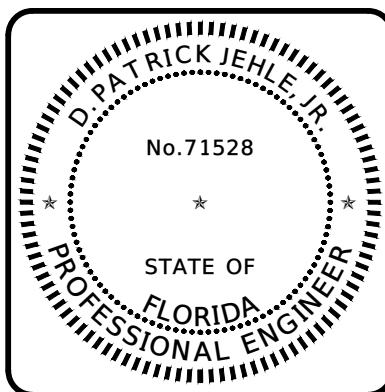
STATUS:

**PHASE III**  
**NOT FOR CONSTRUCTION**



	SET BENCHMARK
	SET PK NAIL & DISC
	SET CAPPED IRON ROD No.7917
	WIRE PULL BOX
	CLEANOUT
	IRRIGATION VALVE
	WOOD UTILITY POLE
	METAL LIGHT POLE
	INVERT
	ELEVATION
	REINFORCED CONCRETE PIPE
	POLYVINYL CHLORIDE PIPE
	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
	STORMWATER LINE
	CHAIN LINK FENCE

1. NORTH AND THE SURVEY DATUM SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000), A PREVIOUS SURVEY BY THIS FIRM (FORMERLY JEHLE-HALSTEAD, INC.) HAVING A JOB NUMBER OF 140033-S000, DATED 09/25/14, AND EXISTING FIELD MONUMENTATION.
2. ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED ON A PREVIOUS SURVEY BY THIS FIRM (FORMERLY JEHLE-HALSTEAD, INC.) HAVING A JOB NUMBER OF 140033-S000, DATED 09/25/14.
3. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FEET AND DECIMALS THEREOF.
4. VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE NOT LOCATED.
5. VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
6. IT IS THE OPINION OF THE SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR SANTA ROSA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12113C0606H, EFFECTIVE DATE OF NOVEMBER 19, 2021.
7. GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
8. NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
9. THE SURVEYING BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER FOR MCKIM & CREED, INC. IS LB7917.
10. THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.
11. THE FIELD SURVEY SHOWN HEREON WAS PERFORMED IN MARCH 2022, AND RECORDED IN FIELD BOOK RG29, PAGE 31-36.

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## CIVIL












### EXISTING SITE CONDITIONS

PLOT DATE:	2022-07-18
MCE PROJ. #	07617-0023
DRAWN	ALM
DESIGNED	ALM
CHECKED	DPJJ
PROJ. MGR.	DPJJ

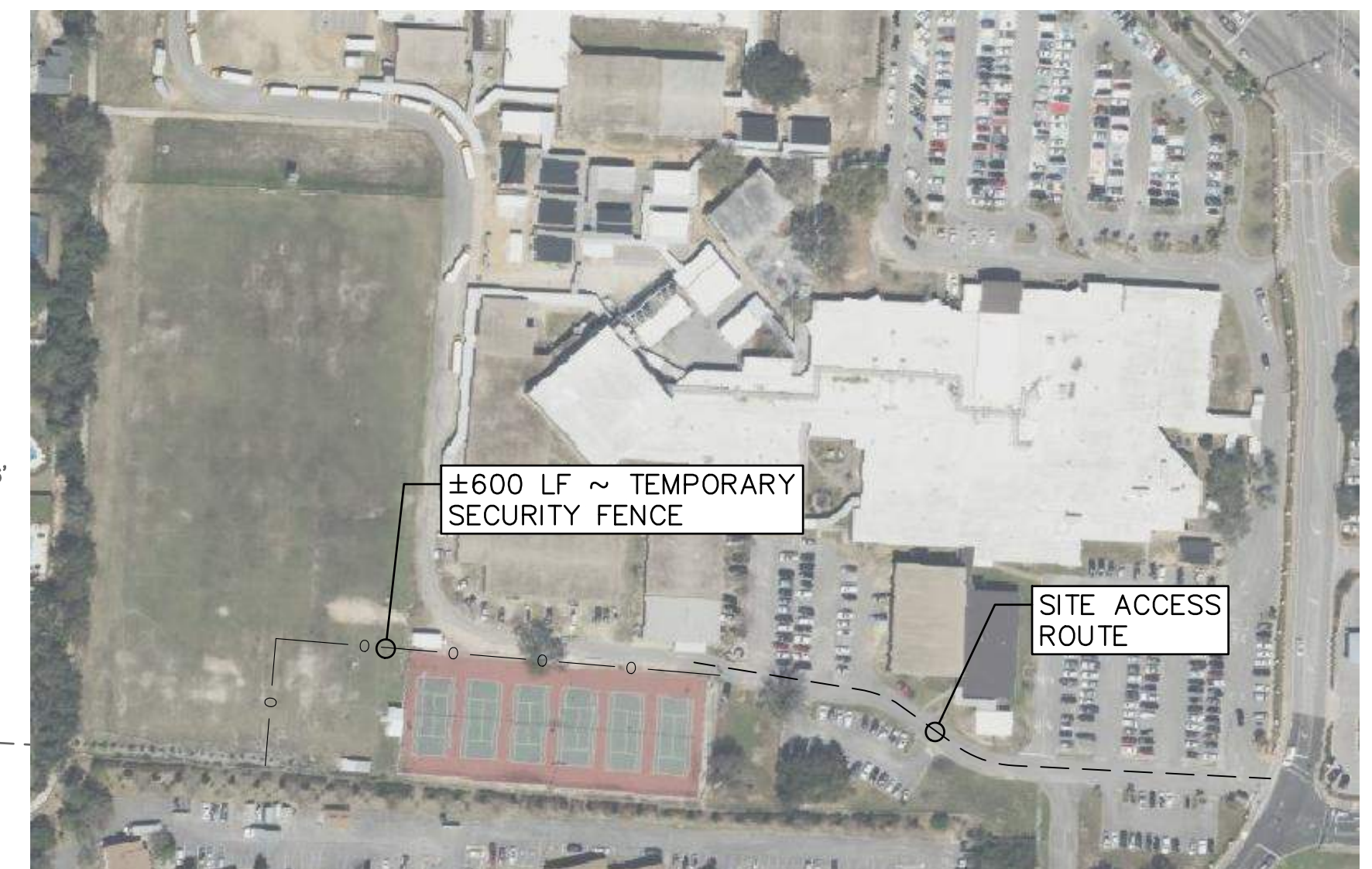
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STATUS: **PHASE III**  
**NOT FOR CONSTRUCTION**

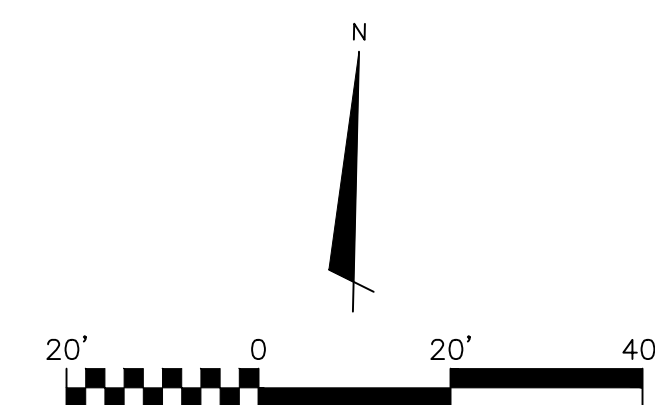
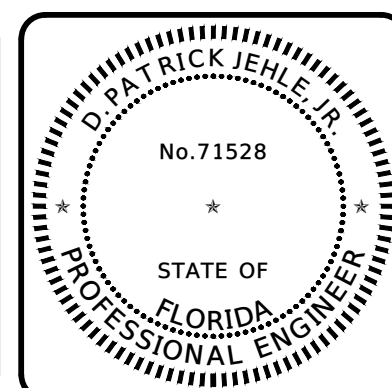


	SET BENCHMARK
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	CLEANOUT
	IRRIGATION VALVE
	WOOD UTILITY POLE
	METAL LIGHT POLE
INV	INVERT
EL	ELEVATION
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
 100	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
 SD	STORMWATER LINE
 0	CHAIN LINK FENCE

1. AT THE TIME OF EXISTING ASPHALT REMOVAL, CONTRACTOR MUST COORDINATE WITH ENGINEER TO RECORD THICKNESS OF EXISTING ASPHALT AND DEPTH BETWEEN TOP OF REMAINING BASE COURSE AND TOP OF REMAINING ADJACENT CURB FOR THE PURPOSES OF CONFIRMING FINAL PROPOSED PAVEMENT SECTION.
2. AT THE TIME OF NET POST FOUNDATION REMOVAL, CONTRACTOR MUST COORDINATE WITH ENGINEER TO RECORD MATERIAL TYPE AND THICKNESS OF EXISTING BASE COURSE FOR THE PURPOSES OF CONFIRMING FINAL PROPOSED PAVEMENT SECTION.




1. CONTRACTOR MUST PROVIDE 6' CHAIN LINK SECURITY FENCE AROUND ACTIVE CONSTRUCTION OPERATIONS AND LAYDOWN AREA. PORTIONS OF EXISTING FENCES MAY BE UTILIZED FOR SUCH PURPOSES AT CONTRACTOR'S OPTION.
2. 2. CONTRACTOR MUST DOCUMENT EXISTING CONDITIONS OF SITE ACCESS ROUTE PRIOR TO CONSTRUCTION. ANY DAMAGES TO ACCESS ROAD CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

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





CIVIL  
**SITE DEMOLITION PLAN**

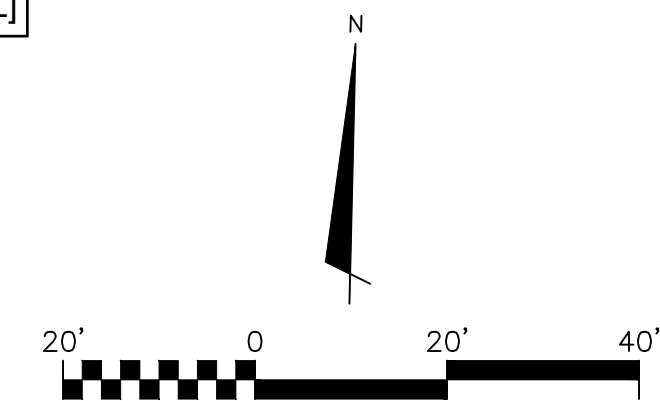
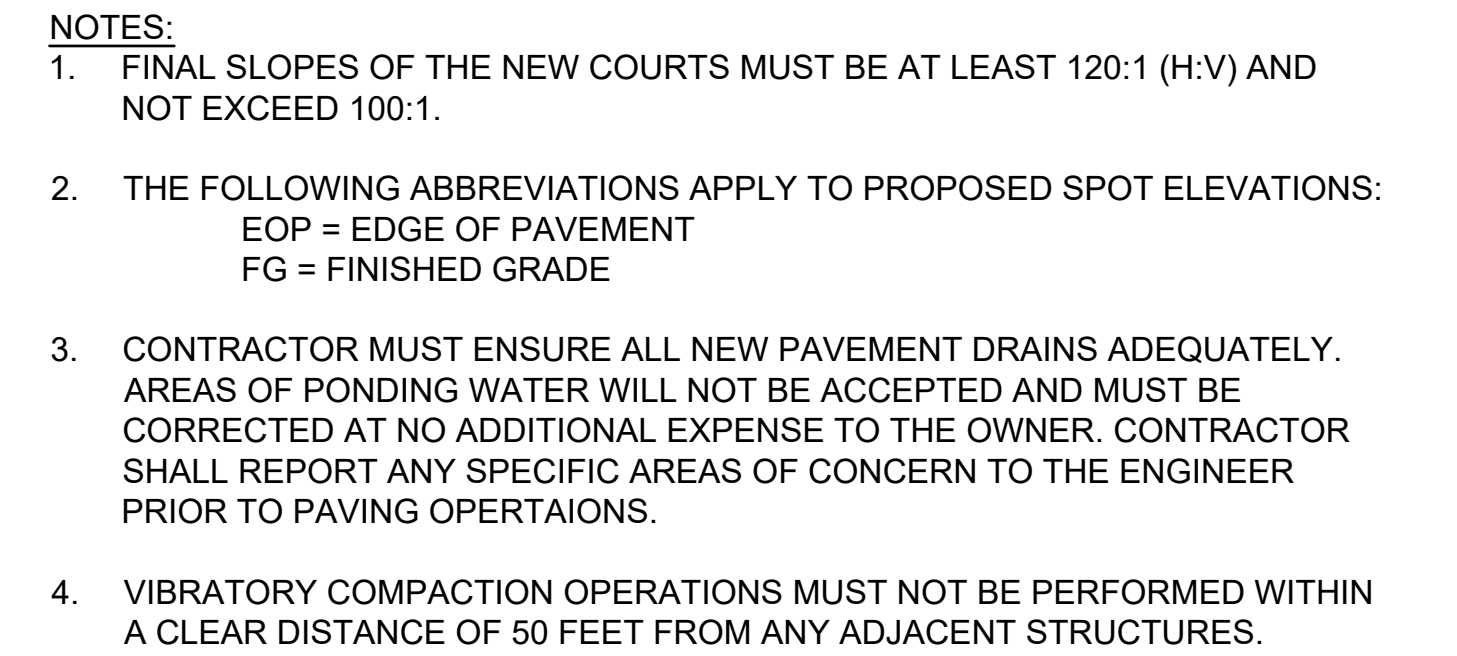
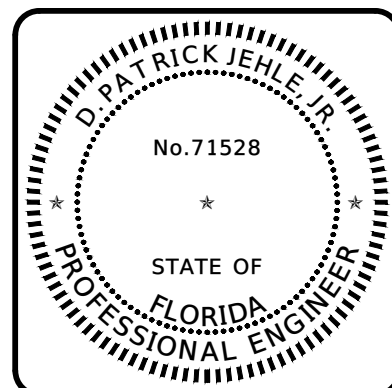
PLOT DATE:	2022-07-18
MCE PROJ. #	07617-0023
DRAWN	ALM
DESIGNED	ALM
CHECKED	DPJJ
PROJ. MGR.	DPJJ

SCALE	
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VERTICAL: N/A	

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 100	ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
 SD	STORMWATER LINE
 0	CHAIN LINK FENCE

[illegible]

CIVIL

**SITE IMPROVEMENTS PLAN**

PLOT DATE:	2022-07-18
MCE PROJ. #	07617-0023
DRAWN	ALM
DESIGNED	ALM
CHECKED	DPJJ
PROJ. MGR.	DPJJ

<p>SCALE</p> <p>HORIZONTAL: AS SHOWN</p> <p>VERTICAL: N/A</p>	<p><b>C-300</b></p> <p>DRAWING NUMBER</p> <p>-</p> <p>DIVISION</p>
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STATUS: **PHASE III**  
**NOT FOR CONSTRUCTION**



