NO DEVIATIONS FROM THE PROJECT PLANS OR SPECIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN

APPROVAL FROM THE ENGINEER OF RECORD AND THE ARCHITECT.

ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH SECTION 453 OF THE FLORIDA BUILDING CODE, STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES, LATEST EDITION AND ALL OTHER APPLICABLE CODES AND SPECIFICATIONS FOR BUILDING AND UTILITY INSTALLATION.

3. IN CASE OF A DISCREPANCY ON THESE DRAWINGS, BETWEEN THESE A DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES, OR BETWEEN THESE DRAWINGS AND CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT MUST BE MET. REPORT ANY DISCREPANCY TO ENGINEER PRIOR TO ACTION.

- 4. LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN ON PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS—BUILT DRAWINGS. COST OF GPR LOCATES MUST BE INCLUDED IN THE CONTRACTOR'S BASE BID. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
- 5. DAMAGE TO EXISTING SIDEWALKS, ASPHALT OR OTHER IMPROVEMENTS OUTSIDE THE PRIMARY PROJECT LIMITS DURING CONSTRUCTION WILL REQUIRE REPAIR AND/OR REPLACEMENT BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.

6. THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.

7. THE CONTRACTOR MUST PROVIDE THE ENGINEER WITH REDLINED DRAWINGS FOR THE ENGINEER'S USE IN PREPARING AS—BUILT CERTIFICATIONS AND AS—BUILT RECORD DRAWINGS FOR THE OWNER. AS—BUILT INFORMATION WILL INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES TO/LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.

8. CONDITIONAL USE 2020-CU-028 TO ALLOW AN EDUCATION INSTITUTION IN AN AG-RR ZONING DISTRICT WAS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS AT THEIR MEETING ON SEPTEMBER 24, 2020.

9. A SEPARATE PERMIT IS REQUIRED FOR ALL BUSINESS SIGNAGE
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY WORK IN THE COUNTY'S RIGHT OF WAY.

11. DRIVEWAY CUTS ARE TO BE REVIEWED ON AN INDIVIDUAL BASIS BY THE ROAD AND BRIDGE DEPARTMENT.

12. CONTRACTOR MUST OBTAIN ALL NECESSARY DEWATERING PERMITS PRIOR TO COMMENCING ANY SUCH ACTIVITIES, AND IS FURTHER RESPONSIBLE FOR ALL TESTING, DOCUMENTATION AND REPORTING AS

GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL

REQUIRED BY THE DEWATERING PERMIT.

1. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION (PRIOR TO CONSTRUCTION) AND MAINTENANCE/REPAIRS (DURING CONSTRUCTION) OF EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENT AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS SHOWN HEREIN REPRESENT THE RECOMMENDED MINIMUM EROSION CONTROL MEASURES TO BE TAKEN, AND CONTRACTOR MUST INCLUDE COSTS FOR ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES IN HIS BASE BID.

2. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT PERMANENT COVER MUST BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITION AND RENDER IT SUITABLE FOR PERMANENT COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL BE EMPLOYED (I.E. EROSION CONTROL FABRIC, RIP-RAP, ETC.).

3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES COVERAGE FOR THE PROPOSED CONSTRUCTION AREA, INCLUDING DEVELOPMENT OF THE NOTICE OF INTENT, STORM WATER POLLUTION PROTECTION PLAN DOCUMENTS, AND PERMIT APPLICATION FEE.

4. THE CONTRACTOR MUST MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL PLAN. AT A MINIMUM, INSPECTIONS WILL OCCUR AT LEAST ONCE A WEEK AND WITHIN TWENTY—FOUR (24) HOURS OF THE END OF A STORM EVENT THAT IS ONE—HALF (0.50) INCH OR GREATER. ALL INSPECTIONS WILL BE DOCUMENTED.

5. IN THE EVENT THAT AN ON-SITE INSPECTION BY ANY PARTY REVEALS A DEFICIENCY IN THE INSTALLATION AND/OR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMMEDIATE REMEDIATION OF THE PROBLEM AT NO ADDITIONAL COST TO THE OWNER.

6. FAILURE TO COMPLY WITH THE REQUIRED EROSION AND SEDIMENT CONTROL GUIDELINES MAY RESULT IN FINES LEVIED BY GOVERNMENTAL AGENCIES. ANY FINES SUFFERED DUE TO NON—COMPLIANCE WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES IMPLEMENTATION SITE PREPARATION

1. PRIOR TO ANY SOIL DISTURBANCE, SILT FENCE MUST BE INSTALLED ALONG ENTIRE DOWN-GRADE PERIMETER OF PLANNED DISTURBANCE AS SHOWN IN PLANS AND DETAILS, OR BY EQUIVALENT MEASURES. SILT FENCE MUST REMAIN IN PLACE UNTIL ALL UP-GRADE AREAS OF DISTURBANCE HAVE BEEN PERMANENTLY STABILIZED.

2. A PROPER CONSTRUCTION ENTRANCE MUST BE ESTABLISHED AT ALL POINTS OF INGRESS/EGRESS FROM CONSTRUCTION SITE PER DETAIL PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES. ALL CONSTRUCTION ENTRANCES MUST REMAIN IN PLACE UNTIL INGRESS/EGRESS FROM THE SITE AT THAT POINT HAS STOPPED.

CLEARING AND GRUBBING

1. ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST RECEIVE A TEMPORARY SEEDING IMMEDIATELY UPON DISTURBANCE. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.

2. ALL DISTURBED AREAS THAT ARE SUBJECT TO HIGH AMOUNTS OF EROSION (I.E. STEEP SLOPES, EMBANKMENTS GREATER THAN 3:1, OR OTHER AS DICTATED BY SITE CONDITIONS) MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCHING WITH STRAW, OR EQUIVALENT MATERIAL, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL

3. ALL DISTURBED AREAS MUST, AS A MINIMUM, BE MAINTAINED BY WATER TO MINIMIZE THE GENERATION

SITE GRADING

1. THE SITE MUST, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS CONTROLLED BY EROSION AND SEDIMENT CONTROL MEASURES.

2. ALL AREAS USED FOR MATERIAL STOCKPILE, BE IT FILL/EXCAVATED MATERIALS, STONE, OR OTHERWISE, MUST BE STABILIZED, AND MUST HAVE SILT FENCE INSTALLED PER THE DETAILS PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES, AROUND THEIR ENTIRE DOWNGRADE PERIMETER.

INSTALLATION OF STORM SEWER AND UTILITIES

1. TEMPORARY OUTLET PROTECTION MUST INSTALLED AT ALL PROPOSED STORM WATER OUTFALLS PRIOR TO THE INSTALLATION OF THE DRAINAGE SYSTEM.

2. ALL SITE DRAINAGE, INCLUDING ROOF DRAINS, DOWN SPOUTS, GUTTERS, OR OTHERWISE MUST BE

ROUTED TO CARRY ALL STORM WATER TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM(S).

3. ANY SLOPES GREATER THAN 3:1 (H:V) RECEIVING PIPELINE OR UTILITY INSTALLATION MUST BE BACKFILLED AND STABILIZED DAILY AS THE INSTALLATION PROCEEDS.

FINAL SITEWORK

1. PERMANENT SOD MUST BE INSTALLED ON ALL EXPOSED AREAS WITHIN THREE (3) DAYS AFTER FINAL

2. UPON COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL ACCEPTANCE, ALL CONSTRUCTION WASTE AND DEBRIS MUST BE REMOVED FROM THE SITE AND ALL PAVED ROADWAYS AND/OR PARKING AREAS WILL BE SWEPT CLEAN OF ALL SEDIMENT.

3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL SUCH TIME WHEN ALL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

UTILITY COMPANIES

TANYA MARTINEZ

(251) 281-7584

FIBER - CENTURYLINK/LEVEL 3 COMMUNICATION LINES, FIBER - VERIZON ADAM PICCIRILLI

(850) 418-3599

TELEPHONE - AT&T DISTRIBUTION CABLE TELEVISION - MEDIACOM SOUTHEAST

ROB ST. PIERRE PAUL COX (850) 698-2362

GAS — CITY OF MILTON

JOE COOK

GAS — OKALOOSA GAS DISTRICT

(850) 698–9244 LARS SULLIVAN (850) 974–7015

ELECTRIC — ESCAMBIA RIVER ELECTRIC CO-OP, INC.

SEWER/WATER — PACE WATER SYSTEM RACHEL LEE

ALEX SCANLON (850) 266-3166 (850) 723-0743

ELECTRIC — GULF POWER/NEXTERA ENERGY FIBER — QUANTA TELECOMMUNICATION SERVICES LLC

ADAM LALIBERTE

(850) 723–7852 (850) 291–1930 HIGH PRESSURE GAS LINES – GULF SOUTH FIRED LINES – COLF SOUTH

PIPELINE CO LP

MORGAN MASON

FIBER — UNITI FIBER LLC

KYLE HILL

(850) 544—1400

(850) 637–4629 (850) 544–1400

SITE DATA SUMMARY

PROP. REF. NO. PARCEL AREA

18-2N-29-0000-00402-0000 13.45 ACRES (±585,882 SF)

PROP. REF. NO.

18-2N-29-0000-00400-0000

PARCEL AREA 19.62 ACRES (±854,647 SF)

STREET ADDRESS 3354 WALLACE LAKE ROAD PACE, FLORIDA 32571

CURRENT USE

FLOOD ZONE

AG (AGRICULTURE)
AG-RR (AGRICULTURE-RURAL RESIDENTIAL)

ZONING AG-RR (AGRICULTURE-RURAL RESIDENTIAL)
FUTURE LAND USE AG-RR (AGRICULTURE-RURAL RESIDENTIAL)

THE PARCELS SHOWN ARE LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FORM (FLOOD INSURANCE RATE MAP)

INFORMATION DESCRIBED BELOW:

FLOOD ZONE (S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
Х	120274	12113C	0291	G	DECEMBER 19, 2006
Х	120274	12113C	0285	G	DECEMBER 19, 2006



7

VICINITY MAP
SECTION 18, TOWNSHIP 2N, RANGE 29

PROPERTY OWNER

DR. KAREN BARBER, SUPERINTENDENT
SANTA ROSA COUNTY SCHOOL BOARD
5086 CANAL ST
MILTON, FL 32570

DEVELOPER / PROJECT OWNER

JOEY HARRELL, ASST SUPT FOR ADMIN SVCS
SANTA ROSA COUNTY SCHOOL BOARD
6544 FIREHOUSE ROAD
MILTON, FL 32570

	f-			
Sheet List Table				
Title	Sheet Number			
FORMATION	C000			
CONDITIONS	C100			
TION PLAN	C200			
MENTS PLAN	C300			
/ DETAILS	C400			
NTROL DETAI	C401			
FORMATION CONDITIONS TION PLAN MENTS PLAN DETAILS	C000 C100 C200 C300 C400			



ARCHITECTS

DAG Architects, AAC000745
40 South Palafox Place, Suite 201
Pensacola, Florida 32502
850.429.9004

www.DAGarchitects.com

LIMITED EARLY RELEASE SITE PACKAGE

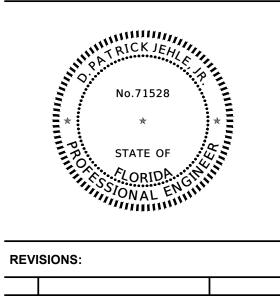
RELEASED FOR BIDDING

SHOOL A

\$ MCKIM&CREED

1206 N. Palafox Street
Page 20501

Pensacola, Florida 32501 Phone: (850) 994-9503 CA Lic. No. 29588 www.mckimcreed.com



NOTES & INFORMATION

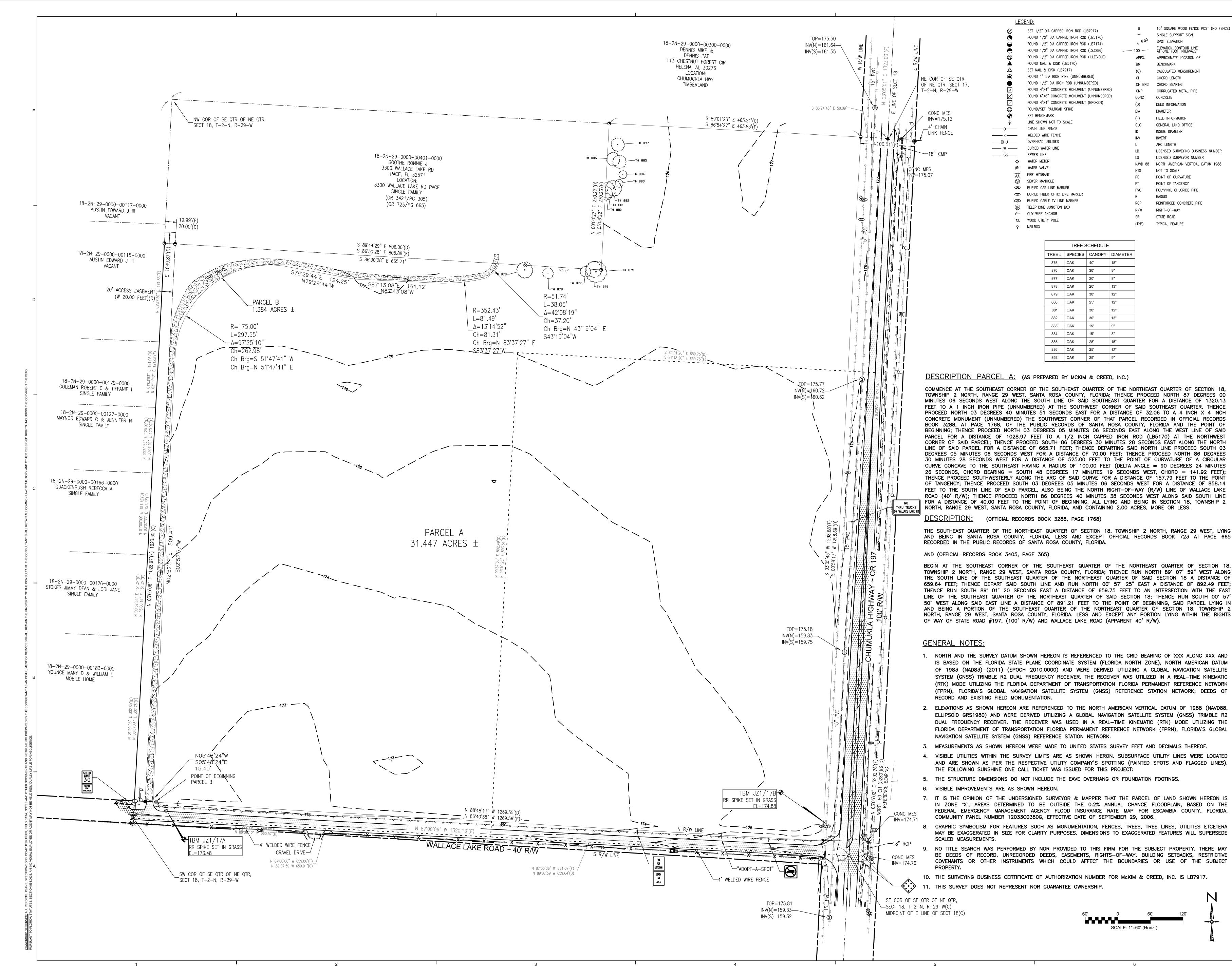
 Project Number
 07619-0019

 Dated
 JANUARY 20, 2021

 Drawn By
 ALM

 Approved By
 DPJj

 PM
 DPJj



■ 10" SQUARE WOOD FENCE POST (NO FENCE)

SINGLE SUPPORT SIGN

APPX. APPROXIMATE LOCATION OF

CALCULATED MEASUREMENT

CORRUGATED METAL PIPE

FIELD INFORMATION

INSIDE DIAMETER

ARC LENGTH

NOT TO SCALE

RIGHT-OF-WAY

STATE ROAD

(TYP) TYPICAL FEATURE

TREE SCHEDULE

TREE # | SPECIES | CANOPY | DIAMETER

12"

12"

13"

SCALE: 1"=60' (Horiz.)

875 OAK 40'

882 OAK 30'

876 OAK

879 OAK

880 OAK

POINT OF CURVATURE

POLYVINYL CHLORIDE PIPE

REINFORCED CONCRETE PIPE

POINT OF TANGENCY

GENERAL LAND OFFICE

LICENSED SURVEYING BUSINESS NUMBER

NORTH AMERICAN VERTICAL DATUM 1988

LICENSED SURVEYOR NUMBER

BENCHMARK

CH CHORD LENGTH

CH BRG CHORD BEARING

DIAMETER

INVERT

CONC CONCRETE

▶ 6.00 SPOT ELEVATION

ARCHITECTS DAG Architects, AAC000745 40 South Palafox Place, Suite 201 Pensacola, Florida 32502

850.429.9004

www.DAGarchitects.com

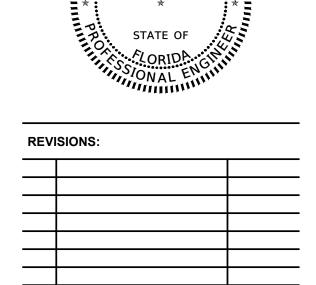
LIMITED EARLY RELEASE SITE **PACKAGE**

RELEASED FOR

BIDDING

Phone: (850) 994-9503

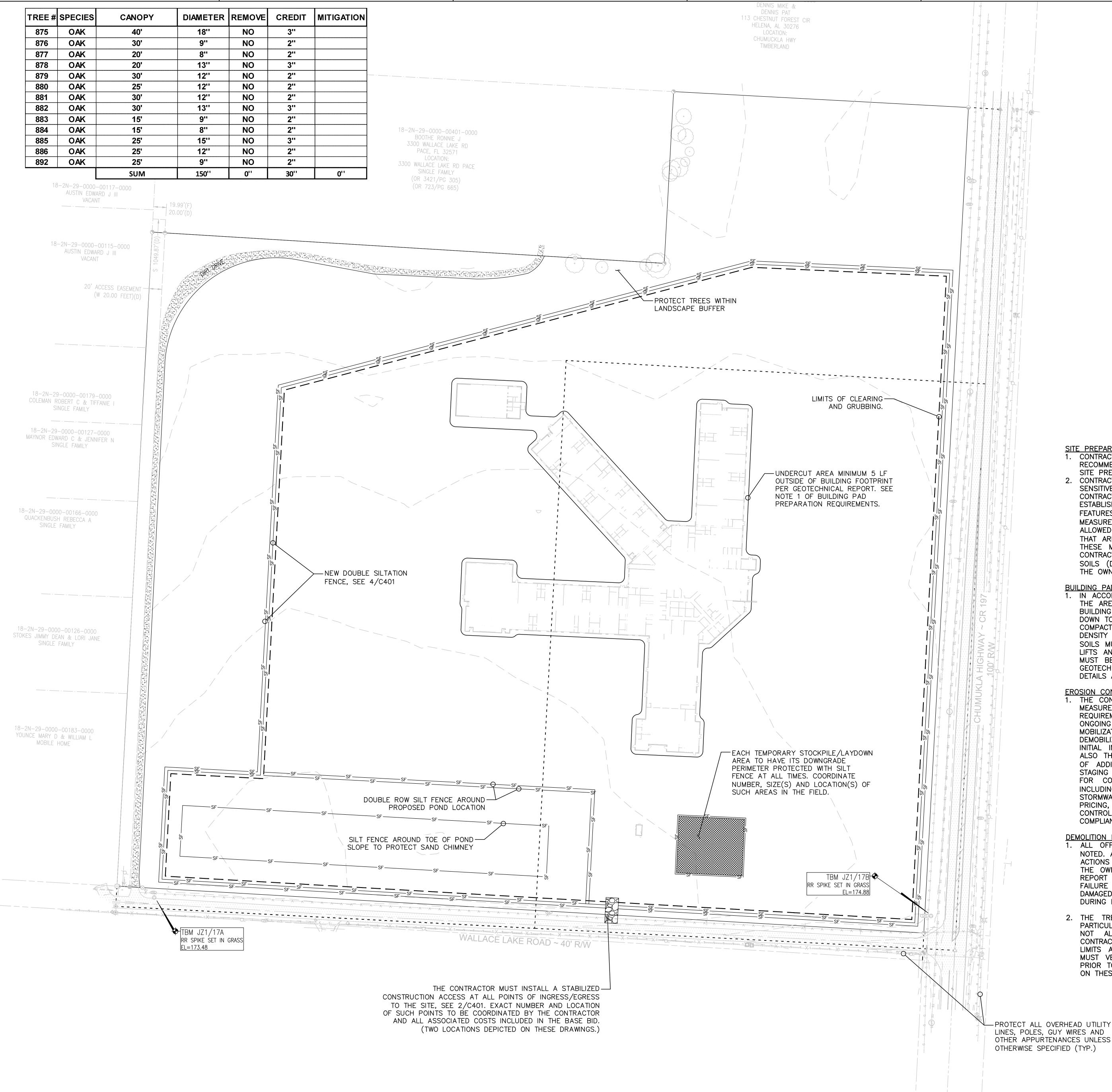
No.71528

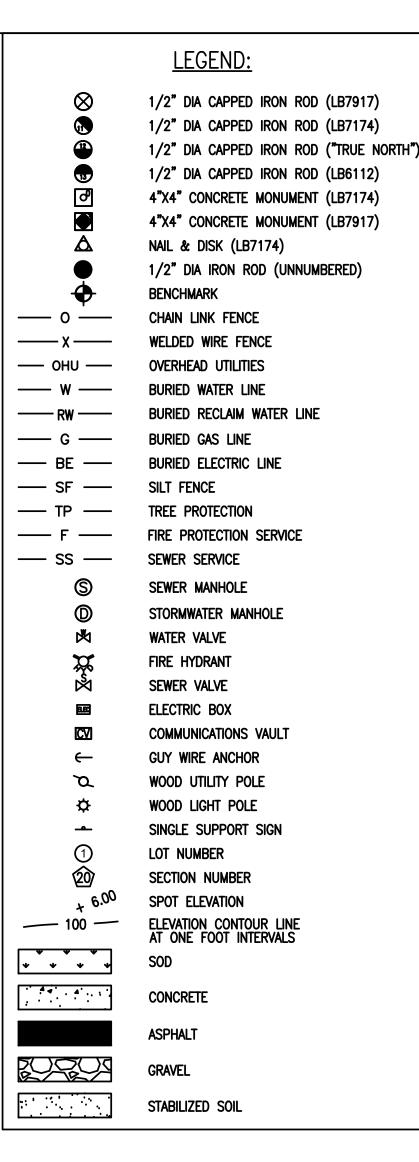


EXISTING SITE

CONDITIONS 07619-0019

Project Number JANUARY 20, 2021 Drawn By DPJi Approved By DPJi





SITE PREPARATION NOTES

. CONTRACTOR MUST PREPARE THE EXISTING SITE IN ACCORANCE WITH THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT. SEE SECTION 7.1, SITE PREPARATION.

2. CONTRACTOR IS CAUTIONED THAT THE EXISTING ON-SITE SOILS ARE HIGHLY SENSITIVE TO MOISTURE AS NOTED IN THE GEOTECHNICAL REPORT CONTRACTOR MUST INCLUDE IN THE BASE BID MEANS AND METHODS TO ESTABLISH AND MAINTAIN TEMPORARY SITE GRADING, STORMWATER COLLECTION FEATURES (SWALES, INLETS, PIPES, ETC.), AND/OR OTHER PROTECTIVE MEASURES (PLASTIC SHEETING, ETC.), SO THAT SURFACE WATER IS NOT ALLOWED TO COLLECT AND SATURATE THE NATIVE SOILS. UNWORKABLE SOILS THAT ARE OVERLY WET DUE TO THE CONTRACTOR'S LACK OF ATTENTION TO THESE MEASURES WILL NOT BE CONSIDERED UNSUITABLE SOILS, AND THE CONTRACTOR WILL BE RESPONSIBLE FOR REMEDIATION OF THE OVERLY WET SOILS (DRYING, REMOVAL/REPLACEMENT, ETC.) AT NO ADDITIONAL COST TO THE OWNER AND WITH NO EXTENSION OF THE CONTRACT TIME.

BUILDING PAD PREPARATION REQUIREMENTS:

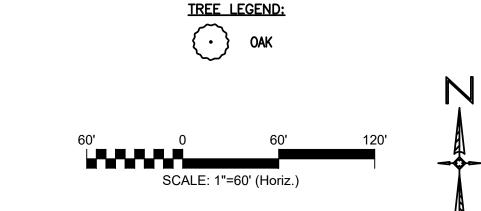
1. IN ACCORDANCE WITH GEOTECHNICAL REPORT, CONTRACTOR MUST UNDERCU THE AREA BELOW AND WITHIN 5 FEET OF THE OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT. ALL NATIVE SOILS WITHIN THIS AREA MUST BE REMOVED DOWN TO AN ELEVATION OF 170.00. THE SOILS AT THAT ELEVATION MUST BE COMPACTED USING A HEAVY WEIGHT VIBRATORY ROLLER TO A MINIMUM SOIL DENSITY OF 100% OF THE MODIFIED PROCTOR MAX DRY DENSITY. EXCAVATED SOILS MUST THEN BE BACKFILLED IN MAXIMUM 12-INCH (LOOSE THICKNESS) LIFTS AND COMPACTED TO AT LEAST 100% MAX DRY DENSITY. VERIFICATION MUST BE DOCUMENTED USING DYNAMIC CONE PENETROMETER TESTING. SEE GEOTECHNICAL REPORT SECTION 7.1 SITE PREPARATION FOR ADDITIONAL DETAILS AND SPECIFIC TESTING REQUIREMENTS.

EROSION CONTROL MAINTENANCE REQUIREMENTS:

1. THE CONTRACTOR IS REMINDED THAT THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THESE DRAWINGS ARE ONLY THE MINIMUM REQUIREMENTS AND THAT CONTROL OF EROSION AND SEDIMENT IS AN ONGOING REQUIREMENT OF THE CONTRACT, FROM THE TIME OF INITIAL MOBILIZATION AND DISTURBANCE UNTIL THE TIME OF FINAL STABILIZATION AND DEMOBILIZATION. CONTRACTOR MUST INCLUDE IN THE BASE BID NOT ONLY THE INITIAL INSTALLATION OF ALL MEASURES NOTED ON THESE DRAWINGS BUT ALSO THE MAINTEANANCE AND REHAB OF THE MEASURES AND INSTALLATION OF ADDITIONAL MEASURES AS REQUIRED BY THE CONTRACTOR'S DESIRED STAGING AND SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE NPDES PROGRAM INCLUDING CREATION AND CERTFICATION OF THE CONTRACTOR'S OWN STORMWATER POLLUTION PREVENTION PLAN AND THE FULL AND COMPLETE PRICING, INSTALLATION, MAINTENANCE, AND REMOVAL OF THE EROSION CONTROL MEASURES REQUIRED BY THAT PLAN AND AS REQUIRED TO ENSURE COMPLIANCE WITH NPDES REQUIREMENTS.

1. ALL OFF-SITE IMPROVEMENTS ARE TO BE PROTECTED UNLESS OTHERWISE NOTED. ANY DAMAGE TO OFF-SITE FEATURES RESULTING FROM CONTRACTOR'S ACTIONS MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR MUST SUBMIT. TO THE ARCHITECT. A PRE-WORK REPORT DETAILING ANY EXISTING DAMAGED OR DETERIORATED FEATURES. FAILURE TO SUBMIT THIS REPORT WILL EQUAL AN ASSUMPTION OF NO DAMAGED OR DETERIORATED FEATURES, AND ANY SUCH DAMAGE DISCOVERED DURING FINAL INSPECTION WILL REQUIRE CORRECTION.

2. THE TREES NOTED ON THESE PLANS ARE THOSE DEEMED TO BE OF PARTICULAR IMPORTANCE DUE TO THEIR SIZE, PROTECTED NATURE, ETC., AND NOT ALL TREES AND VEGETATION ARE NECESSARILY DEPICTED. CONTRACTOR MUST REMOVE ALL EXISTING VEGETATION WITHIN THE PROJECT LIMITS AS NECESSARY TO FACILITATE THE PROPOSED CONSTRUCTION, AND MUST VERIFY THE EXACT REQUIREMENTS OF THAT REMOVAL IN THE FIELD PRIOR TO BID. TREES SPECIFICALLY NOTED TO BE REMOVED OR PROTECTED ON THESE PLANS MUST BE ADDRESSED AS NOTED.





ARCHITECTS

DAG Architects, AAC000745 40 South Palafox Place, Suite 201

> Pensacola, Florida 32502 850.429.9004

www.DAGarchitects.com

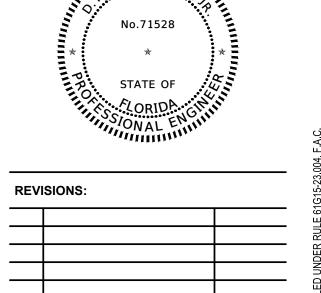
LIMITED EARLY

RELEASE SITE

PACKAGE

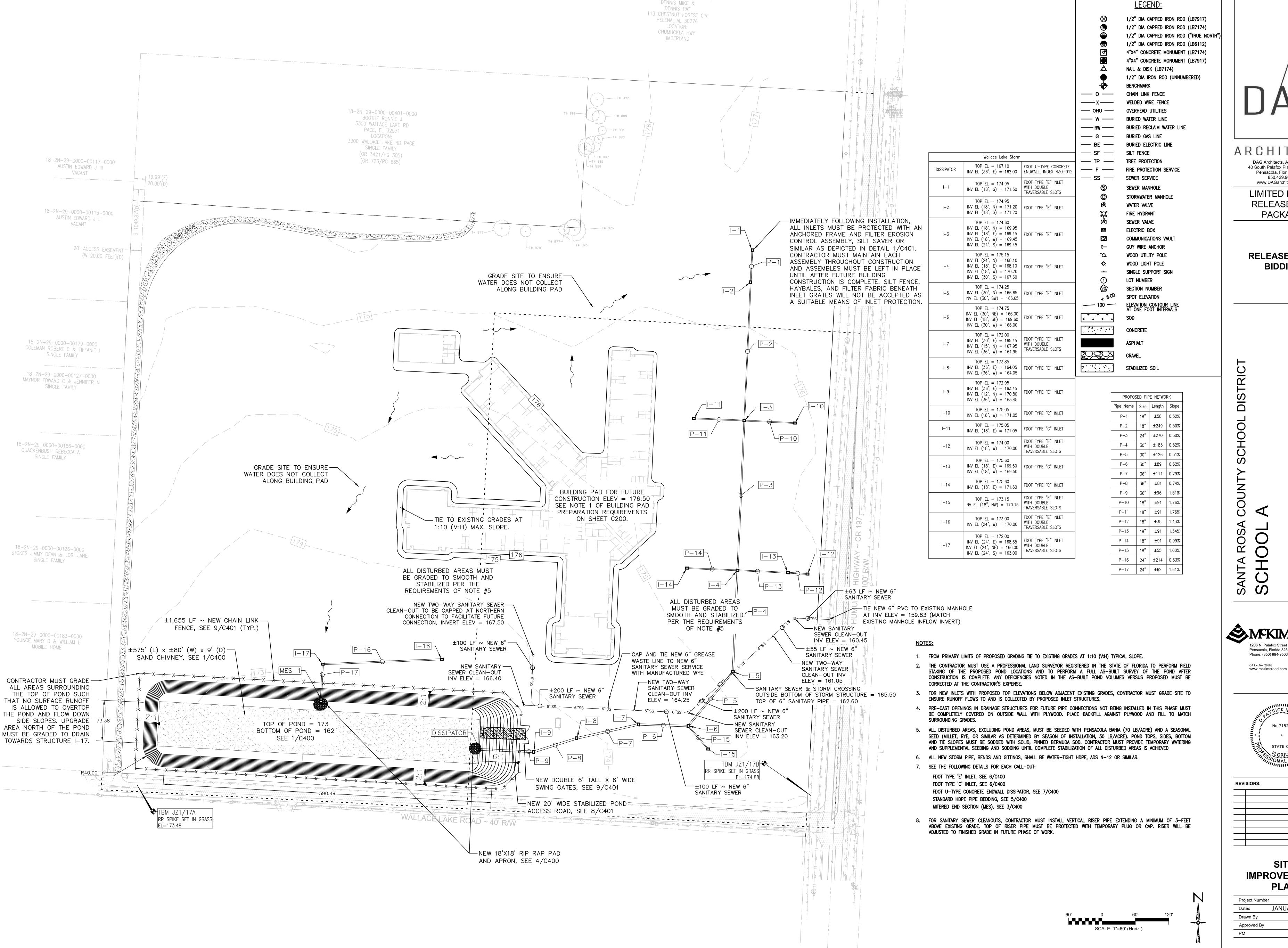
RELEASED FOR

BIDDING



SITE DEMOLITION PLAN

Project Number	07619-0019
Dated	JANUARY 20, 2021
Drawn By	ALM
Approved By	DPJj
PM	DPJj



ARCHITECTS DAG Architects, AAC000745 40 South Palafox Place, Suite 201

Pensacola, Florida 32502

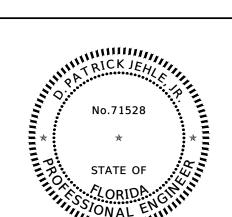
850.429.9004

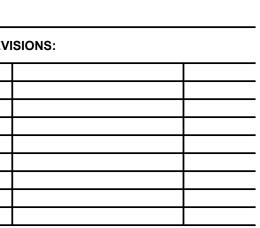
www.DAGarchitects.com LIMITED EARLY RELEASE SITE **PACKAGE**

RELEASED FOR

BIDDING

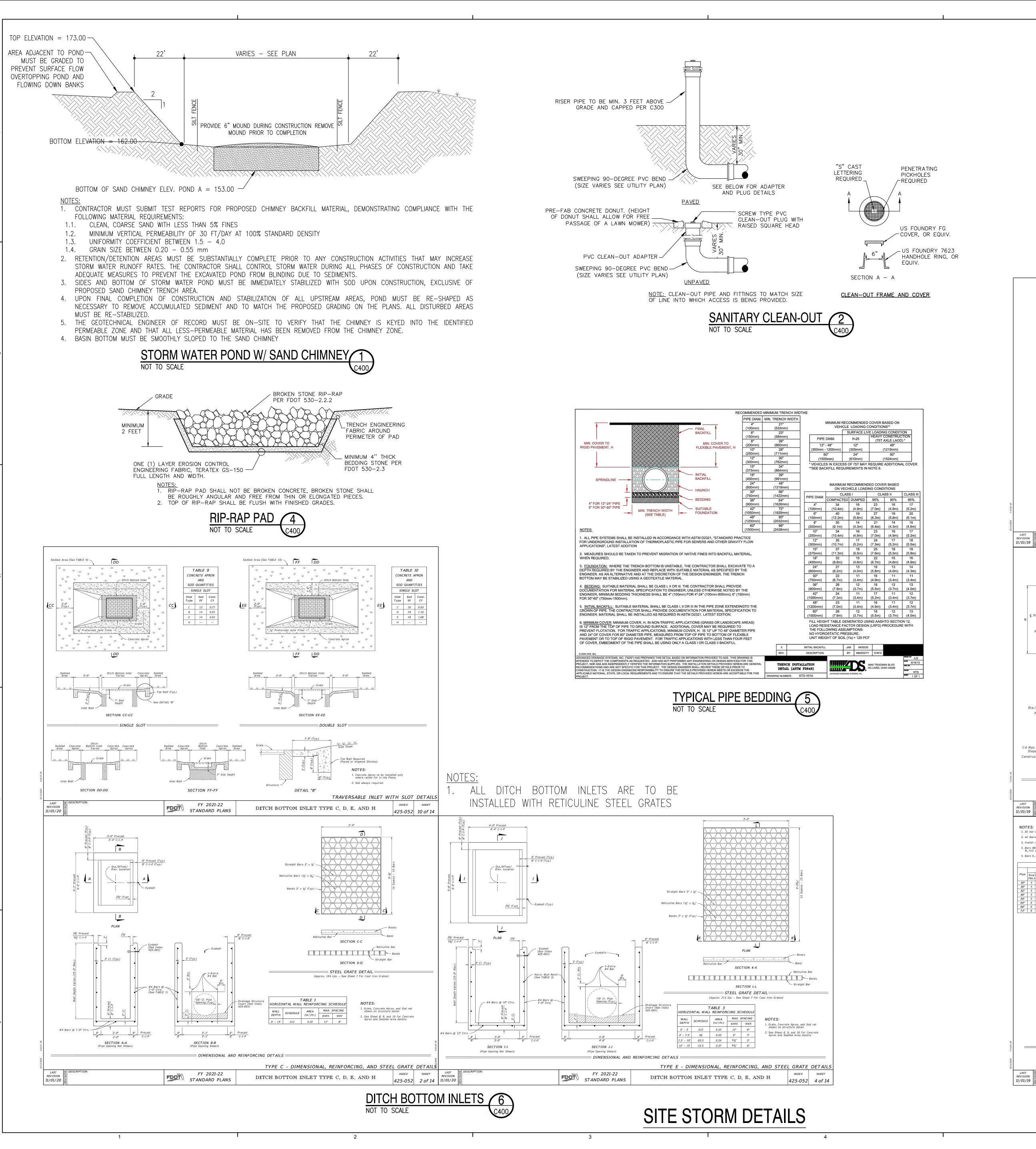
Pensacola, Florida 32501 Phone: (850) 994-9503

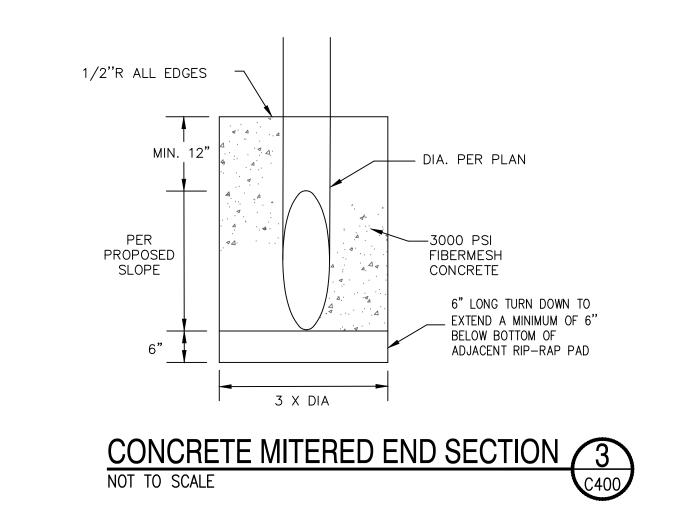


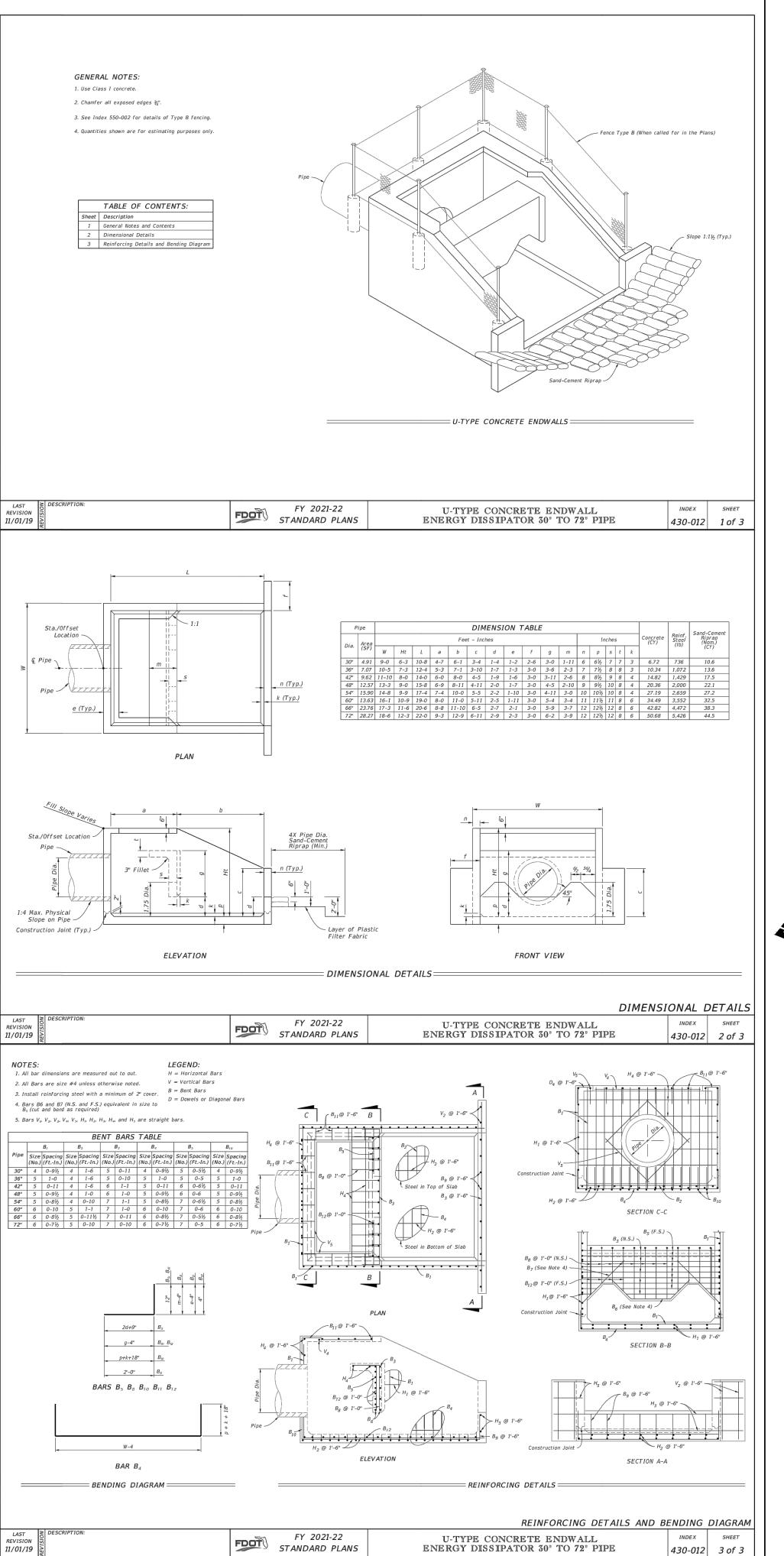


SITE **IMPROVEMENTS PLAN**

07619-0019 Project Number JANUARY 20, 2021 Drawn By DPJi Approved By DPJi









ARCHITECTS DAG Architects, AAC000745 40 South Palafox Place, Suite 201 Pensacola, Florida 32502 850.429.9004 www.DAGarchitects.com

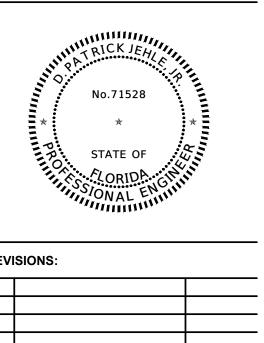
> LIMITED EARLY **RELEASE SITE PACKAGE**

RELEASED FOR

BIDDING

Pensacola, Florida 32501 Phone: (850) 994-9503

www.mckimcreed.com

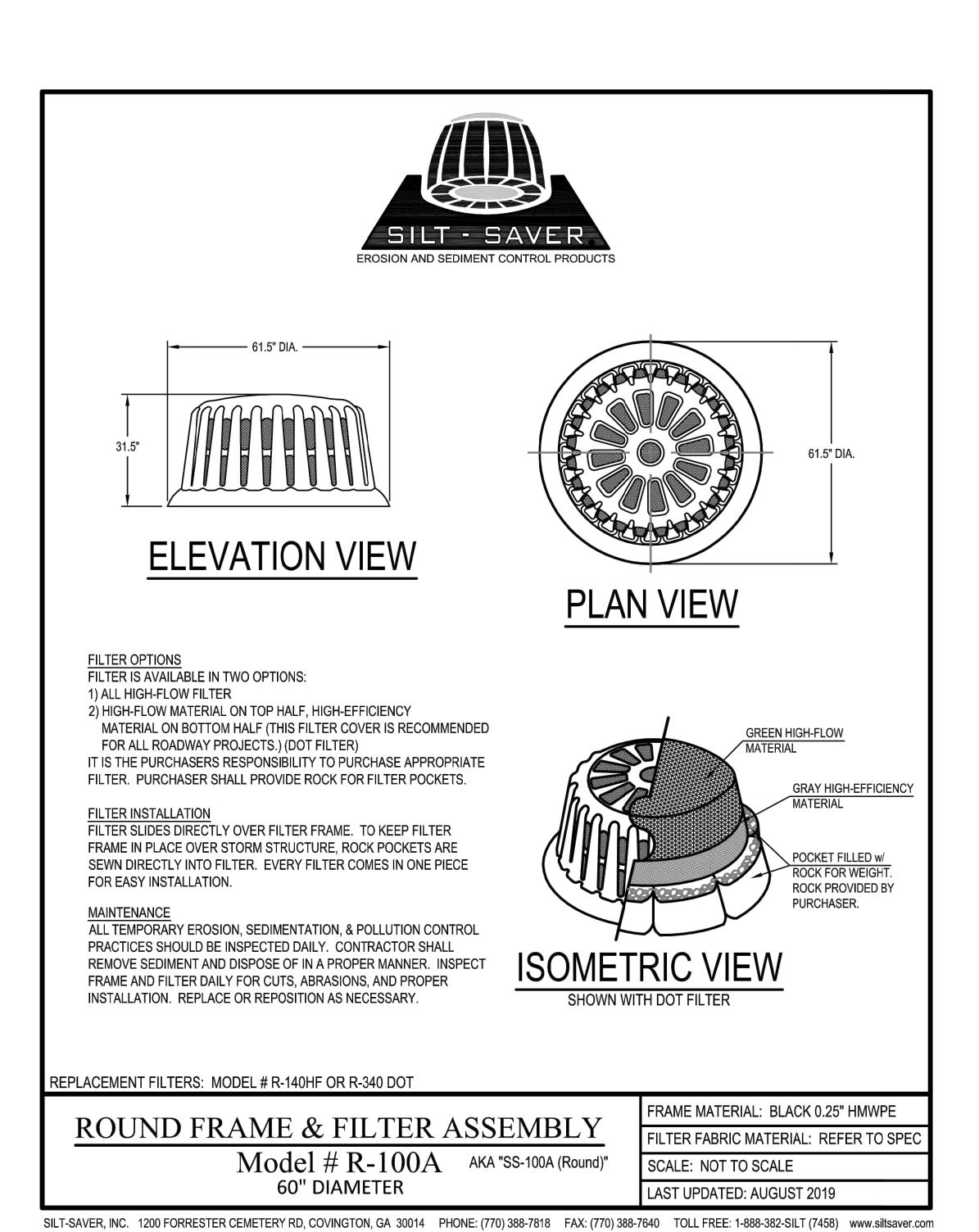


SITE STORM **DETAILS**

07619-0019 JANUARY 20, 2021 Drawn By DPJj Approved By DPJj

C400

FDOT U-TYPE CONCRETE ENDWALL ENERGY DISSIPATOR 7



STORM WATER INLET PROTECTION 1

6.0' MAXIMUM —STAPLE FABRIC TO POST BETWEEN POST DIRECTION OF FLOW _TRENCH W/COMPACTED FILL. FABRIC SHALL BE FULL WIDTH AND LENGTH OF TRENCH. ┥┾<u>╎┼╶╞╫╣╾╛┾╎┾╶╞</u>╇┼╴┥┝<u>╎┼╶╞</u>╪┼╾╡┾┼╾╺┦ PROPYLENE, NYLON, POLYESTER OR POLYETHYLENE SYNTHETIC FILTER FABRIC (INCLUDE WIRE BACKING WHERE NOTED IN PLANS) FENCE ELEVATION

6" (MIN<u>.) LAYER OF 2</u>"-3"

\EARTH FILL

SECTION VIEW

40' MINIMUM

1. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL

2. IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLODGE MUD, THEN THE TIRES

3. UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD

4. ANY SOILS THAT ARE TRACKED OFF-SITE MUST BE SWEPT FROM THE RIGHTS-OF-WAY AT THE END OF EACH

ROCK CONSTRUCTION ACCESS (2)

WORK DAY AND CONSTRUCTION ACCESS MEANS/METHODS IMPROVED TO PREVENT FUTURE OFF-SITE TRACKING.

MINIMUM

PLAN VIEW

PIPE AS NECESSARY

EXISTING ASPHALT

GEOTEXTILE FIBER, CLASS 'C' OR

BETTER

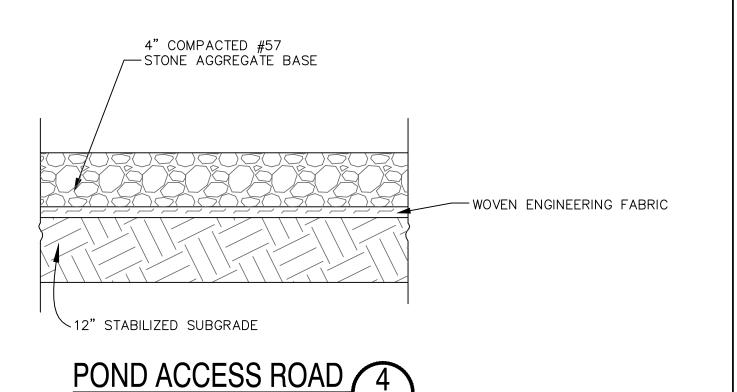
WIDTH AS REQUIRED

CONSTRUCTION MATERIAL DISLODGES CAKED MUD.

NOT TO SCALE

MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.

BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.



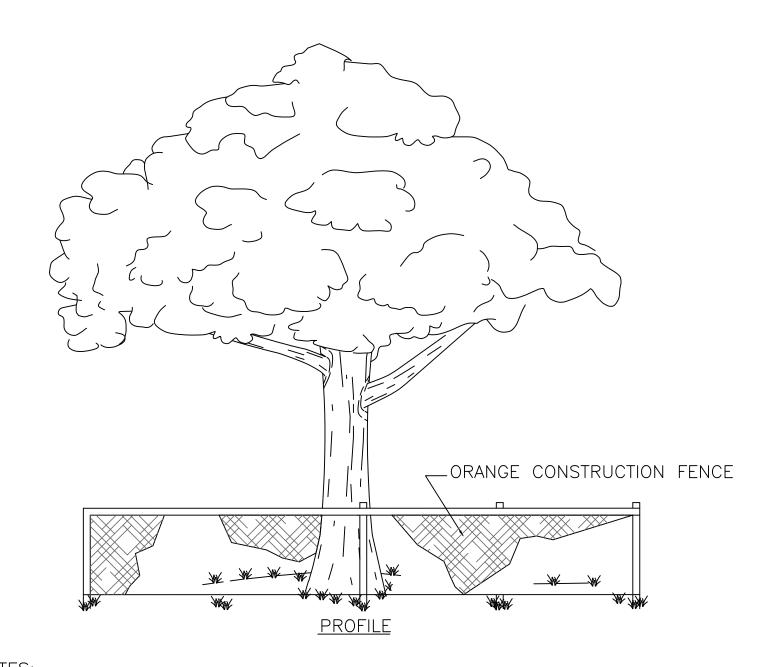
FENCE SECTION

✓ OAK STAKE-1" x 2"





NOT TO SCALE

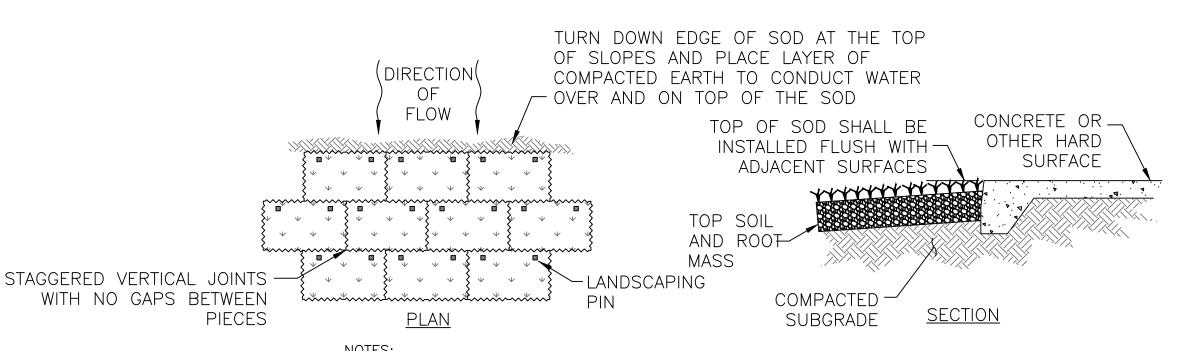


S:\Images\Silt Saver\R-100A DFTAIL.dwg, 8/9/2019 2:51:24 PM, CutePDF Writer.pc3

1. FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE. 2. FENCE MATERIAL SHALL BE PLACED AT THE DRIP LINE OF THE TREE OR GROUP OF

TREES TO BE PROTECTED. 3. NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING.

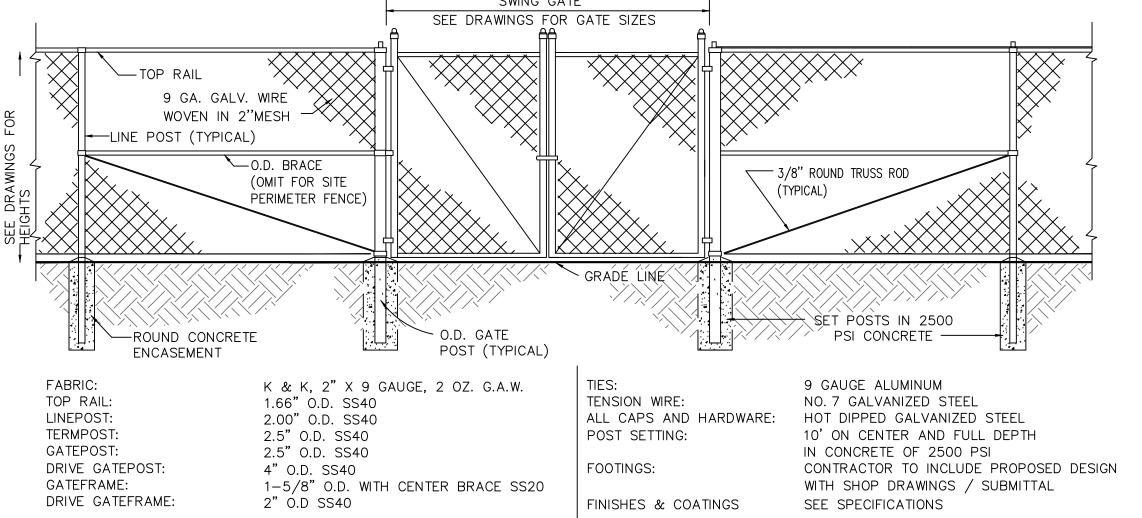
> TREE PROTECTION A NOT TO SCALE



4. INSTALL SOD EDGES FLUSH WITH FINISHED GRADE OR ADJOINING SOD.

1. SEE WRITTEN SPECIFICATIONS FOR FULL DETAILS. 2. PLACE SOD BEGINNING AT THE TOE OF THE SLOPE AND LONG EDGE PERPENDICULAR TO DIRECTION OF FLOW. 3. SOD SHALL BE PINNED ON ALL SLOPES 4:1 OR STEEPER, IN AREAS OF CONCENTRATED DRAINAGE FLOWS, AND ANYWHERE THAT THERE IS DANGER OF SOD SLIPPING.

SODDING DETAIL 6



NOT TO SCALE

CHAIN LINK FENCE AND GATES 8 SITE EROSION **CONTROL DETAILS**

07619-0019 Project Number JANUARY 20, 2021 Drawn By DPJi Approved By DPJi

C401

ARCHITECTS DAG Architects, AAC000745 40 South Palafox Place, Suite 201 Pensacola, Florida 32502 850.429.9004 www.DAGarchitects.com LIMITED EARLY

> **RELEASED FOR BIDDING**

RELEASE SITE

PACKAGE

SMCKIM&CREED

Pensacola, Florida 32501 Phone: (850) 994-9503