

- ## UTILITY COMPANIES



SECTION 18, TOWNSHIP 2N, RANGE 29

DEVELOPER / PROJECT OWNER
 EY HARRELL, ASST SUPT FOR ADMIN SVCS
 SANTA ROSA COUNTY SCHOOL BOARD
 6544 FIREHOUSE ROAD
 MILTON, FL 32570

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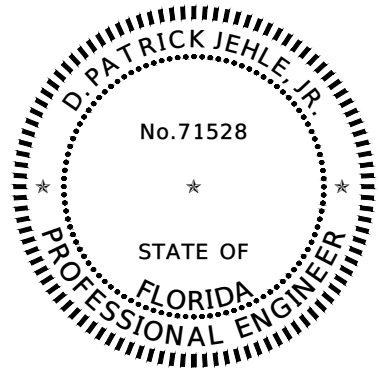
SANTA ROSA COUNTY SCHOOL DISTRICT
SCHOOL A

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REVISIONS

NOTES & INFORMATION

Project Number	07619-0019
Dated	JANUARY 20, 2021
Drawn By	ALM
Approved By	DPJj
PM	DPJj

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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

TREE #	SPECIES	CANOPY	DIAMETER	REMOVE	CREDIT	MITIGATION
875	OAK	40'	18"	NO	3"	
876	OAK	30'	9"	NO	2"	
877	OAK	20'	8"	NO	2"	
878	OAK	20'	13"	NO	3"	
879	OAK	30'	12"	NO	2"	
880	OAK	25'	12"	NO	2"	
881	OAK	30'	12"	NO	2"	
882	OAK	30'	13"	NO	3"	
883	OAK	15'	9"	NO	2"	
884	OAK	15'	8"	NO	2"	
885	OAK	25'	15"	NO	3"	
886	OAK	25'	12"	NO	2"	
892	OAK	25'	9"	NO	2"	
SUM			150"	0"	30"	0"

18-2N-29-0000-00401-0000
BOOTHIE RONNIE J
3300 WALLACE LAKE RD
PACE, FL 32571
LOCATION:
3300 WALLACE LAKE RD PACE
SINGLE FAMILY
(OR 3421/PG. 305)
(OR 723/PG. 665)

DENNIS MIKE &
DENNIS PAT
113 CHESTNUT FOREST CIR
HELONA, AL 30276
LOCATION:
CHUMUCKLA HWY
TIMBERLAND

LEGEND:	
	1/2" DIA CAPPED IRON ROD (LB7917)
	1/2" DIA CAPPED IRON ROD (LB7174)
	1/2" DIA CAPPED IRON ROD ("TRUE NORTH")
	1/2" DIA CAPPED IRON ROD (LB6112)
	4"x4" CONCRETE MONUMENT (LB7174)
	4"x4" CONCRETE MONUMENT (LB7917)
	NAIL & DISK (LB7174)
	1/2" DIA IRON ROD (UNNUMBERED)
	BENCHMARK
	CHAIN LINK FENCE
	WELDED WIRE FENCE
	OVERHEAD UTILITIES
	BURIED WATER LINE
	BURIED RECLAIM WATER LINE
	BURIED GAS LINE
	BURIED ELECTRIC LINE
	SILT FENCE
	TREE PROTECTION
	FIRE PROTECTION SERVICE
	SEWER SERVICE
	SEWER MANHOLE
	STORMWATER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	SEWER VALVE
	ELECTRIC BOX
	COMMUNICATIONS VAULT
	GUY WIRE ANCHOR
	WOOD UTILITY POLE
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	SPOT ELEVATION
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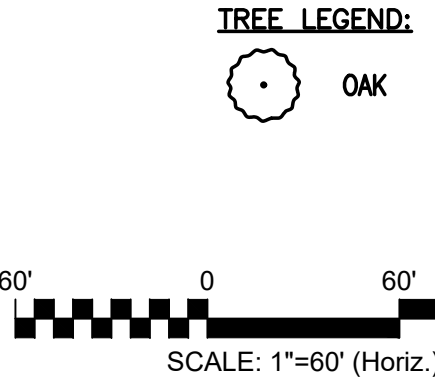
SITE PREPARATION NOTES
1. CONTRACTOR MUST PREPARE THE EXISTING SITE IN ACCORDANCE WITH THE RECOMMENDATIONS GIVEN IN THE GEOTECHNICAL REPORT. SEE SECTION 7.1, SITE PREPARATION.
2. CONTRACTOR IS CAUTIONED THAT THE EXISTING ON-SITE SOILS ARE HIGHLY SENSITIVE TO MOISTURE AS NOTED IN THE GEOTECHNICAL REPORT. CONTRACTOR MUST INCLUDE IN THE BASE BID MEANS AND METHODS TO ESTABLISH AND MAINTAIN TEMPORARY SITE GRADING, STORMWATER COLLECTION FEATURES (SWALES, INLETS, PIPES, ETC.), AND/OR OTHER PROTECTIVE MEASURES (PLASTIC SHEETING, ETC.), SO THAT SURFACE WATER IS NOT ALLOWED TO COLLECT AND SATURATE THE NATIVE SOILS. UNWORKABLE SOILS THAT ARE OVERLY WET DUE TO THE CONTRACTOR'S LACK OF ATTENTION TO THESE MEASURES WILL NOT BE CONSIDERED UNSUITABLE SOILS, AND THE CONTRACTOR WILL BE RESPONSIBLE FOR REMEDIATION OF THE OVERLY WET SOILS (DRYING, REMOVAL/REPLACEMENT, ETC.) AT NO ADDITIONAL COST TO THE OWNER AND WITH NO EXTENSION OF THE CONTRACT TIME.

BUILDING PAD PREPARATION REQUIREMENTS:
1. IN ACCORDANCE WITH GEOTECHNICAL REPORT, CONTRACTOR MUST UNDERCUT THE AREA BELOW AND WITHIN 5 FEET OF THE OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT. ALL NATIVE SOILS WITHIN THIS AREA MUST BE REMOVED DOWN TO AN ELEVATION OF 170.00. THE SOILS AT THAT ELEVATION MUST BE COMPACTED USING A HEAVY WEIGHT VIBRATORY ROLLER TO A MINIMUM SOIL DENSITY OF 100% OF THE MODIFIED PROCTOR MAX DRY DENSITY. EXCAVATED SOILS MUST THEN BE BACKFILLED IN MAXIMUM 12-INCH (LOOSE THICKNESS) LIFTS AND COMPACTED TO AT LEAST 100% MAX DRY DENSITY. VERIFICATION MUST BE DOCUMENTED USING DYNAMIC CONE PENETROMETER TESTING. SEE GEOTECHNICAL REPORT SECTION 7.1 SITE PREPARATION FOR ADDITIONAL DETAILS AND SPECIFIC TESTING REQUIREMENTS.

EROSION CONTROL MAINTENANCE REQUIREMENTS:
1. THE CONTRACTOR IS REMINDED THAT THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THESE DRAWINGS ARE ONLY THE MINIMUM REQUIREMENTS AND THAT CONTROL OF EROSION AND SEDIMENT IS AN ONGOING REQUIREMENT OF THE CONTRACT, FROM THE TIME OF INITIAL MOBILIZATION AND DISTURBANCE UNTIL THE TIME OF FINAL STABILIZATION AND DEMOBILIZATION. CONTRACTOR MUST INCLUDE IN THE BASE BID NOT ONLY THE INITIAL INSTALLATION OF ALL MEASURES NOTED ON THESE DRAWINGS BUT ALSO THE MAINTENANCE AND REHAB OF THE MEASURES AND INSTALLATION OF ADDITIONAL MEASURES AS REQUIRED BY THE CONTRACTOR'S DESIRED STAGING AND SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE NPDES PROGRAM, INCLUDING CREATION AND CERTIFICATION OF THE CONTRACTOR'S OWN STORMWATER POLLUTION PREVENTION PLAN AND THE FULL AND COMPLETE PRICING, INSTALLATION, MAINTENANCE, AND REMOVAL OF THE EROSION CONTROL MEASURES REQUIRED BY THAT PLAN AND AS REQUIRED TO ENSURE COMPLIANCE WITH NPDES REQUIREMENTS.

DEMOLITION NOTES
1. ALL OFF-SITE IMPROVEMENTS ARE TO BE PROTECTED UNLESS OTHERWISE NOTED. ANY DAMAGE TO OFF-SITE FEATURES RESULTING FROM CONTRACTOR'S ACTIONS MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR MUST SUBMIT, TO THE ARCHITECT, A PRE-WORK REPORT DETAILING ANY EXISTING DAMAGED OR DETERIORATED FEATURES. FAILURE TO SUBMIT THIS REPORT WILL EQUAL AN ASSUMPTION OF NO DAMAGED OR DETERIORATED FEATURES, AND ANY SUCH DAMAGE DISCOVERED DURING FINAL INSPECTION WILL REQUIRE CORRECTION.

2. THE TREES NOTED ON THESE PLANS ARE THOSE DEEMED TO BE OF PARTICULAR IMPORTANCE DUE TO THEIR SIZE, PROTECTED NATURE, ETC., AND NOT ALL TREES AND VEGETATION ARE NECESSARILY DEPICTED. THE CONTRACTOR MUST REMOVE ALL EXISTING VEGETATION WITHIN THE PROJECT LIMITS AS NECESSARY TO FACILITATE THE PROPOSED CONSTRUCTION, AND MUST VERIFY THE EXACT REQUIREMENTS OF THAT REMOVAL IN THE FIELD PRIOR TO BID. TREES SPECIFICALLY NOTED TO BE REMOVED OR PROTECTED ON THESE PLANS MUST BE ADDRESSED AS NOTED.



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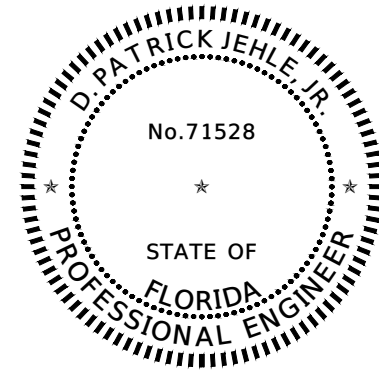
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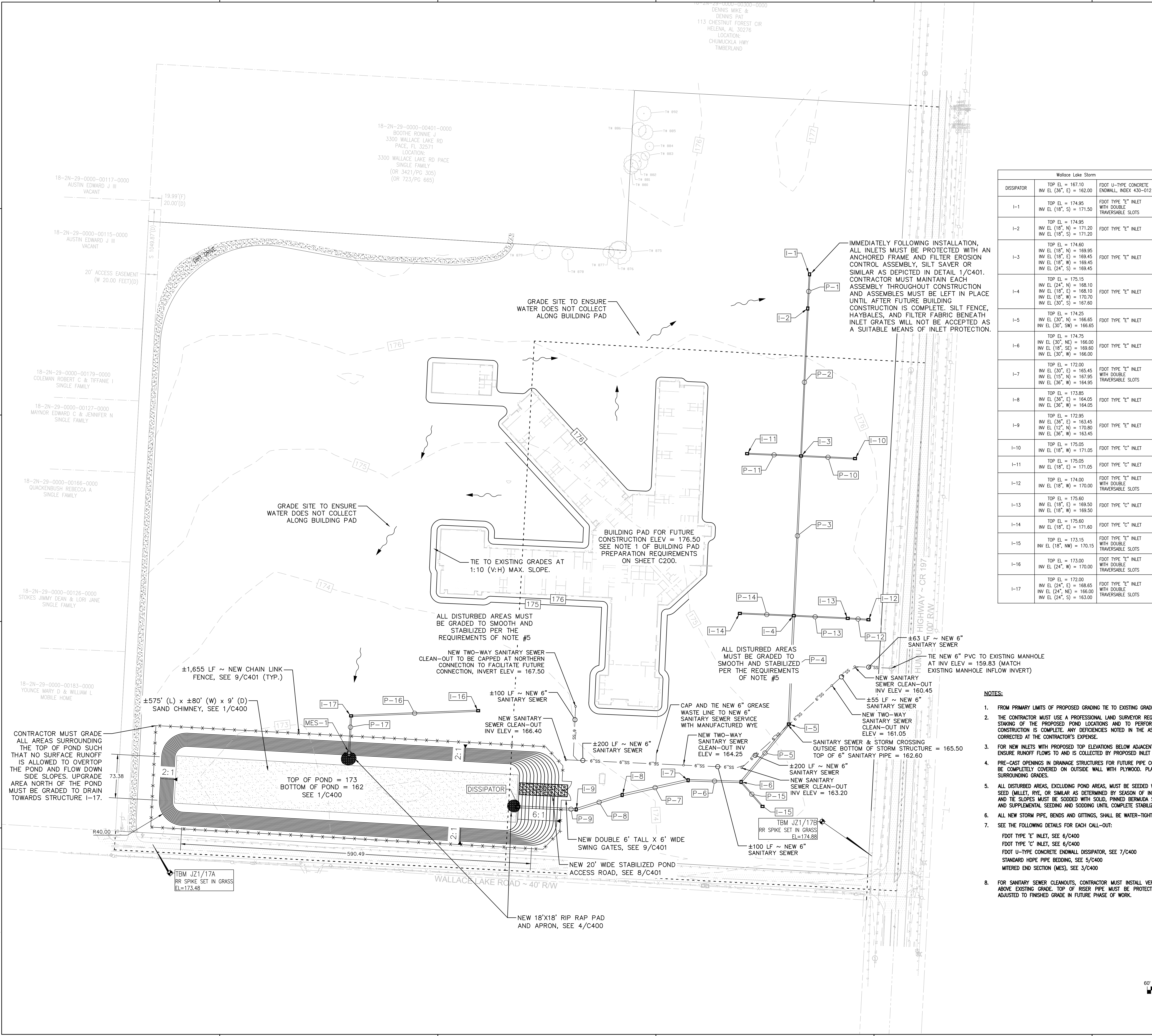
SITE DEMOLITION PLAN

Project Number	07619-0019
Dated	JANUARY 20, 2021
Drawn By	ALM
Approved By	DPJ
PM	DPJ

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ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. ALL DATA, NOTES, AND SPECIFICATIONS ARE PREPARED BY THE CONSULTANT AS AN INSTRUMENT OF SERVICES SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE CONSULTANT. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SHALL BE SUBJECT TO THE JUDICIAL AND ARBITRATION JURISDICTION OF THE CONSULTANT. THE CONSULTANT'S LIABILITY SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID FOR THE SERVICES PROVIDED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES CAUSED BY ANY OTHER PARTY, INCLUDING BUT NOT LIMITED TO, THE CITY OF PENSACOLA, THE FLORIDA DEPARTMENT OF TRANSPORTATION, OR ANY OTHER AGENCY. THE CONSULTANT'S LIABILITY SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID FOR THE SERVICES PROVIDED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES CAUSED BY ANY OTHER PARTY, INCLUDING BUT NOT LIMITED TO, THE CITY OF PENSACOLA, THE FLORIDA DEPARTMENT OF TRANSPORTATION, OR ANY OTHER AGENCY.



LEGEND:

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- SEWER SERVICE
- SEWER MANHOLE
- STORMWATER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- SEWER VALVE
- ELECTRIC BOX
- COMMUNICATIONS VAULT
- GUY WIRE ANCHOR
- WOOD UTILITY POLE
- WOOD LIGHT POLE
- SINGLE SUPPORT SIGN
- LOT NUMBER
- SECTION NUMBER
- SPOT ELEVATION
- ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
- SOD
- CONCRETE
- ASPHALT
- GRAVEL
- STABILIZED SOIL

Wallace Lake Storm			
DISSIPATOR	TOP EL = 167.10 INV EL (36", E) = 162.00	FOOT U-TYPE CONCRETE ENDWALL, INDEX 430-012	
I-1	TOP EL = 174.95 INV EL (18", S) = 171.50	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	
I-2	TOP EL = 174.95 INV EL (18", N) = 171.20 INV EL (18", S) = 171.20	FOOT TYPE "E" INLET	
I-3	TOP EL = 174.60 INV EL (18", N) = 169.95 INV EL (18", E) = 169.45 INV EL (18", W) = 169.45 INV EL (24", S) = 169.45	FOOT TYPE "E" INLET	
I-4	TOP EL = 175.15 INV EL (24", N) = 168.10 INV EL (18", E) = 168.10 INV EL (18", W) = 170.70 INV EL (30", S) = 167.60	FOOT TYPE "E" INLET	
I-5	TOP EL = 174.25 INV EL (30", N) = 166.65 INV EL (30", SW) = 166.65	FOOT TYPE "E" INLET	
I-6	TOP EL = 174.75 INV EL (30", NE) = 166.00 INV EL (18", SE) = 169.60 INV EL (30", W) = 166.00	FOOT TYPE "E" INLET	
I-7	TOP EL = 172.00 INV EL (30", E) = 165.45 INV EL (15", N) = 167.95 INV EL (36", W) = 164.95	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	
I-8	TOP EL = 173.85 INV EL (36", E) = 164.05 INV EL (36", W) = 164.05	FOOT TYPE "E" INLET	
I-9	TOP EL = 172.95 INV EL (36", E) = 163.45 INV EL (12", N) = 170.80 INV EL (36", W) = 163.45	FOOT TYPE "E" INLET	
I-10	TOP EL = 175.05 INV EL (18", W) = 171.05	FOOT TYPE "C" INLET	
I-11	TOP EL = 175.05 INV EL (18", E) = 171.05	FOOT TYPE "C" INLET	
I-12	TOP EL = 174.00 INV EL (18", W) = 170.00	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	
I-13	TOP EL = 175.60 INV EL (18", E) = 169.50 INV EL (18", W) = 169.50	FOOT TYPE "C" INLET	
I-14	TOP EL = 175.60 INV EL (18", NW) = 170.15	FOOT TYPE "C" INLET	
I-15	TOP EL = 173.15 INV EL (24", W) = 170.00	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	
I-16	TOP EL = 173.00 INV EL (24", W) = 170.00	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	
I-17	TOP EL = 172.00 INV EL (24", E) = 168.65 INV EL (24", NE) = 166.00 INV EL (24", S) = 163.00	FOOT TYPE "E" INLET WITH DOUBLE TRAVERSABLE SLOTS	

PROPOSED PIPE NETWORK			
Pipe Name	Size	Length	Slope
P-1	18"	±58	0.52%
P-2	18"	±249	0.50%
P-3	24"	±270	0.50%
P-4	30"	±183	0.52%
P-5	30"	±126	0.51%
P-6	30"	±89	0.62%
P-7	36"	±114	0.79%
P-8	36"	±81	0.74%
P-9	36"	±96	1.51%
P-10	18"	±91	1.76%
P-11	18"	±91	1.76%
P-12	18"	±35	1.43%
P-13	18"	±91	1.54%
P-14	18"	±91	0.99%
P-15	18"	±55	1.00%
P-16	24"	±214	0.63%
P-17	24"	±62	1.61%

NOTES:

- FROM PRIMARY LIMITS OF PROPOSED GRADING TIE TO EXISTING GRADES AT 1:10 (V:H) TYPICAL SLOPE.
- THE CONTRACTOR MUST USE A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO PERFORM FIELD STAKING OF THE PROPOSED POND LOCATIONS AND TO PERFORM A FULL AS-BUILT SURVEY OF THE POND AFTER CONSTRUCTION IS COMPLETE. ANY DEFICIENCIES NOTED IN THE AS-BUILT POND VOLUMES VERSUS PROPOSED MUST BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- FOR NEW INLETS WITH PROPOSED TOP ELEVATIONS BELOW ADJACENT EXISTING GRADES, CONTRACTOR MUST GRADE SITE TO ENSURE RUNOFF FLOWS TO AND IS COLLECTED BY PROPOSED INLET STRUCTURES.
- PRE-CAST OPENINGS IN DRAINAGE STRUCTURES FOR FUTURE PIPE CONNECTIONS NOT BEING INSTALLED IN THIS PHASE MUST BE COMPLETELY COVERED ON OUTSIDE WALL WITH PLYWOOD. PLACE BACKFILL AGAINST PLYWOOD AND FILL TO MATCH SURROUNDING GRADES.
- ALL DISTURBED AREAS, EXCLUDING POND AREAS, MUST BE SEEDDED WITH PENSACOLA BAHIA (70 LB/ACRE) AND A SEASONAL SEED (MILLET, RYE, OR SIMILAR AS DETERMINED BY SEASON OF INSTALLATION, 30 LB/ACRE). POND TOPS, SIDES, BOTTOM AND THE SLOPES MUST BE SODDED WITH SOD, PINNED BERMUDA SOD. CONTRACTOR MUST PROVIDE TEMPORARY WATERING AND SUPPLEMENTAL SEEDING AND SODDING UNTIL COMPLETE STABILIZATION OF ALL DISTURBED AREAS IS ACHIEVED.
- ALL NEW STORM PIPE, BENDS AND FITTINGS, SHALL BE WATER-TIGHT HDPE, ADS N-12 OR SIMILAR.
- SEE THE FOLLOWING DETAILS FOR EACH CALL-OUT:
FOOT TYPE "E" INLET, SEE 6/C400
FOOT TYPE "C" INLET, SEE 6/C400
FOOT U-TYPE CONCRETE ENDWALL DISSIPATOR, SEE 7/C400
STANDARD HDPE PIPE BEDDING, SEE 5/C400
MITERED END SECTION (MES), SEE 3/C400
- FOR SANITARY SEWER CLEANOUTS, CONTRACTOR MUST INSTALL VERTICAL RISER PIPE EXTENDING A MINIMUM OF 3-FEET ABOVE EXISTING GRADE. TOP OF RISER PIPE MUST BE PROTECTED WITH TEMPORARY PLUG OR CAP. RISER WILL BE ADJUSTED TO FINISHED GRADE IN FUTURE PHASE OF WORK.

REVISIONS:

NO.	DESCRIPTION	DATE

SITE IMPROVEMENTS PLAN

Project Number: 07619-0019
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STATE OF FLORIDA PROFESSIONAL ENGINEER

No. 71528

REVISIONS:

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SITE IMPROVEMENTS PLAN

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C300

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