

GENERAL NOTES

- NO DEVIATIONS FROM THE PROJECT PLANS OR SPECIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE ARCHITECT.
- ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH SECTION 453 OF THE FLORIDA BUILDING CODE, STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES, LATEST EDITION AND ALL OTHER APPLICABLE CODES AND SPECIFICATIONS FOR BUILDING AND UTILITY INSTALLATION.
- IN CASE OF A DISCREPANCY ON THESE DRAWINGS, BETWEEN THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES, OR BETWEEN THESE DRAWINGS AND CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT MUST BE MET. REPORT ANY DISCREPANCY TO ENGINEER PRIOR TO ACTION.
- LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN ON PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED WILL BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. COST OF GPR LOCATES MUST BE INCLUDED IN THE CONTRACTOR'S BASE BID. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
- DAMAGE TO EXISTING SIDEWALKS, ASPHALT OR OTHER IMPROVEMENTS OUTSIDE THE PRIMARY PROJECT LIMITS DURING CONSTRUCTION WILL REQUIRE REPAIR AND/OR REPLACEMENT BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR MUST PROVIDE THE ENGINEER WITH REDLINED DRAWINGS FOR THE ENGINEER'S USE IN PREPARING AS-BUILT CERTIFICATIONS AND AS-BUILT RECORD DRAWINGS FOR THE OWNER. AS-BUILT INFORMATION WILL INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES TO LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.
- A SEPARATE PERMIT IS REQUIRED FOR ALL BUSINESS SIGNAGE
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY WORK IN THE COUNTY'S RIGHT OF WAY.
- DRIVEWAY CUTS ARE TO BE REVIEWED ON AN INDIVIDUAL BASIS BY THE ROAD AND BRIDGE DEPARTMENT.
- CONTRACTOR MUST OBTAIN ALL NECESSARY DEWATERING PERMITS PRIOR TO COMMENCING ANY SUCH ACTIVITIES, AND IS FURTHER RESPONSIBLE FOR ALL TESTING, DOCUMENTATION AND REPORTING AS REQUIRED BY THE DEWATERING PERMIT.

GENERAL NOTES FOR EROSION AND SEDIMENT CONTROL

- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION (PRIOR TO CONSTRUCTION) AND MAINTENANCE/REPAIRS (DURING CONSTRUCTION) OF EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENT AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS SHOWN HEREIN REPRESENT THE RECOMMENDED MINIMUM EROSION CONTROL MEASURES TO BE TAKEN, AND CONTRACTOR MUST INCLUDE COSTS FOR ALL NECESSARY EROSION AND SEDIMENT CONTROL MEASURES IN HIS BASE BID.
- AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT PERMANENT COVER MUST BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITION AND RENDER IT SUITABLE FOR PERMANENT COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL BE EMPLOYED (I.E. EROSION CONTROL FABRIC, RIP-RAP, ETC.).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES COVERAGE FOR THE PROPOSED CONSTRUCTION AREA, INCLUDING DEVELOPMENT OF THE NOTICE OF INTENT, STORM WATER POLLUTION PROTECTION PLAN DOCUMENTS, AND PERMIT APPLICATION FEE.
- THE CONTRACTOR MUST MAKE REGULAR INSPECTIONS OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENT CONTROL PLAN. AT A MINIMUM, INSPECTIONS WILL OCCUR AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM EVENT THAT IS ONE-HALF (0.50) INCH OR GREATER. ALL INSPECTIONS WILL BE DOCUMENTED.
- IN THE EVENT THAT AN ON-SITE INSPECTION BY ANY PARTY REVEALS A DEFICIENCY IN THE INSTALLATION AND/OR MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMMEDIATE REMEDIATION OF THE PROBLEM AT NO ADDITIONAL COST TO THE OWNER.
- FAILURE TO COMPLY WITH THE REQUIRED EROSION AND SEDIMENT CONTROL GUIDELINES MAY RESULT IN FINES LEVIED BY GOVERNMENTAL AGENCIES. ANY FINES SUFFERED DUE TO NON-COMPLIANCE WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

SEQUENCE OF EROSION AND SEDIMENT CONTROL MEASURES IMPLEMENTATION SITE PREPARATION

- PRIOR TO ANY SOIL DISTURBANCE, SILT FENCE MUST BE INSTALLED ALONG ENTIRE DOWN-GRADE PERIMETER OF PLANNED DISTURBANCE AS SHOWN IN PLANS AND DETAILS, OR BY EQUIVALENT MEASURES. SILT FENCE MUST REMAIN IN PLACE UNTIL ALL UP-GRADE AREAS OF DISTURBANCE HAVE BEEN PERMANENTLY STABILIZED.
- A PROPER CONSTRUCTION ENTRANCE MUST BE ESTABLISHED AT ALL POINTS OF INGRESS/EGRESS FROM CONSTRUCTION SITE PER DETAIL PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES. ALL CONSTRUCTION ENTRANCES MUST REMAIN IN PLACE UNTIL INGRESS/EGRESS FROM THE SITE AT THAT POINT HAS STOPPED.

CLEARING AND GRUBBING

- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC MUST RECEIVE A TEMPORARY SEEDING IMMEDIATELY UPON DISTURBANCE. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- ALL DISTURBED AREAS THAT ARE SUBJECT TO HIGH AMOUNTS OF EROSION (I.E. STEEP SLOPES, EMBANKMENTS GREATER THAN 3:1, OR OTHER AS DICTATED BY SITE CONDITIONS) MUST IMMEDIATELY RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH MULCHING WITH STRAW, OR EQUIVALENT MATERIAL, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ALL DISTURBED AREAS MUST, AS A MINIMUM, BE MAINTAINED BY WATER TO MINIMIZE THE GENERATION OF DUST.

SITE GRADING

- THE SITE MUST, AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS CONTROLLED BY EROSION AND SEDIMENT CONTROL MEASURES.
- ALL AREAS USED FOR MATERIAL STOCKPILE, BE IT FILL/EXCAVATED MATERIALS, STONE, OR OTHERWISE, MUST BE STABILIZED, AND MUST HAVE SILT FENCE INSTALLED PER THE DETAILS PROVIDED IN THE PLANS, OR BY EQUIVALENT MEASURES, AROUND THEIR ENTIRE DOWNGRADE PERIMETER.

INSTALLATION OF STORM SEWER AND UTILITIES

- TEMPORARY OUTLET PROTECTION MUST INSTALLED AT ALL PROPOSED STORM WATER OUTFALLS PRIOR TO THE INSTALLATION OF THE DRAINAGE SYSTEM.
- ALL SITE DRAINAGE, INCLUDING ROOF DRAINS, DOWN SPOUTS, GUTTERS, OR OTHERWISE MUST BE ROUTED TO CARRY ALL STORM WATER TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM(S).
- ANY SLOPES GREATER THAN 3:1 (H:V) RECEIVING PIPELINE OR UTILITY INSTALLATION MUST BE BACKFILLED AND STABILIZED DAILY AS THE INSTALLATION PROCEEDS.

FINAL SITEWORK

- PERMANENT SOD MUST BE INSTALLED ON ALL EXPOSED AREAS WITHIN THREE (3) DAYS AFTER FINAL GRADING.
- UPON COMPLETION OF CONSTRUCTION, BUT PRIOR TO FINAL ACCEPTANCE, ALL CONSTRUCTION WASTE AND DEBRIS MUST BE REMOVED FROM THE SITE AND ALL PAVED ROADWAYS AND/OR PARKING AREAS WILL BE SWEEPED CLEAN OF ALL SEDIMENT.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL SUCH TIME WHEN ALL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

UTILITY COMPANIES

TELEPHONE – AT&T DISTRIBUTION  
JONATHAN BLANKINSHIP  
(850) 436-1489

FIBER – CENTURYLINK  
TANYA MARTINEZ  
(251) 281-7584

SEWER/WATER/GAS – CITY OF MILTON  
JOE ROBEY  
(850) 983-5434

ELECTRIC – GULF POWER COMPANY  
CHAD SWAILS  
(850) 429-2446

COMMUNICATION LINES/FIBER – VERIZON  
THOMAS BROYLES  
(850) 475-7465

NATURAL GAS – CITY OF GULF BREEZE  
ROGER JACKSON  
(850) 934-5108

GAS – OKALOOSA GAS DISTRICT  
ESSA RHEBI  
(850) 729-4870

FIBER – QUANTA TELECOMMUNICATIONS  
RUSSELL RIBBLETT  
(678) 836-5610

FIBER – UNITI FIBER LLC  
MICHAEL MCCARTY  
(251) 214-7793

SITE DATA SUMMARY

PROP. REF. NO. 26-2N-29-0000-00203-0000  
PARCEL AREA 24.47 ACRES (±1,065,913 SF)

STREET ADDRESS 4910 CHARISMA STREET  
MILTON, FLORIDA 32570

CURRENT USE PUBLIC SCHOOLS  
ZONING R1  
FUTURE LAND USE SFR

PROPOSED BUILDING USE PUBLIC SCHOOL

PROPOSED BUILDING AREA ±99,300 SF

BUILDING SETBACKS  
FRONT 25'  
REAR 25'  
SIDE 25'

LANDSCAPING BUFFER  
FRONTAGE 35'  
SIDE 25'  
REAR 25'

PARKING REQUIRED (PER COUNTY)

1 SPACE FOR EACH 10 SEATS IN THE MAIN AUDITORIUM OR ASSEMBLY ROOM  
799 SEATS IN CAFETERIA / 10 = 80 SPACES  
OR

1 SPACE FOR EACH CLASSROOM, WHICHEVER IS GREATER  
68 CLASSROOMS = 68 SPACES

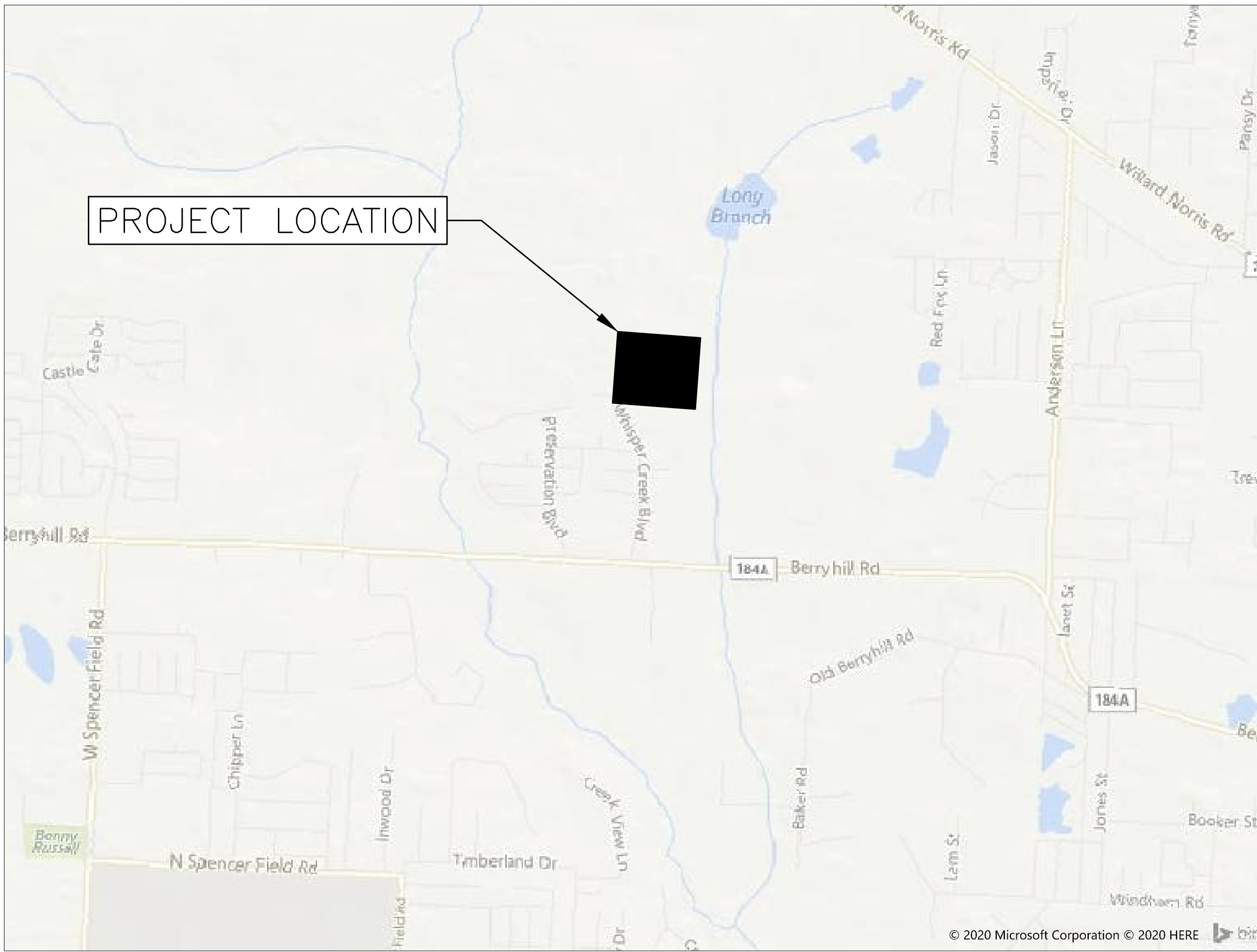
REQUIRED (PER SREF)  
1 SPACE FOR EACH FACULTY/STAFF AND 1 SPACE FOR EVERY 100 STUDENTS  
150 STAFF + 1200 STUDENTS = 150 + 12 = 162 SPACES

PROPOSED: 198 SPACES (192 STANDARD + 6 ADA)

LOT AREA 1,070,269 SF (±24.57 AC) (100%)  
PERVIOUS 514,152 SF (±11.80 AC) (48.03%)  
IMPERVIOUS 556,117 SF (±12.77 AC) (51.97%)

FLOOD ZONE THE PARCELS SHOWN IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FORM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE (S)	NFIP COMMUNITY NUMBER*	MAP NUMBER*	PANEL NUMBER(S)	MAP SUFFIX*	MAP REVISION DATE*
X	120274	12113C	0562	G	DECEMBER 19, 2006



VICINITY MAP  
SECTION 26, TOWNSHIP 2N, RANGE 29

PROPERTY OWNER  
TIM WYROSICK, SUPERINTENDENT  
SANTA ROSA COUNTY SCHOOL BOARD  
5086 CANAL ST  
MILTON, FL 32570

DEVELOPER / PROJECT OWNER  
JOEY HARRELL, ASST SUPT FOR ADMIN SVCS  
SANTA ROSA COUNTY SCHOOL BOARD  
6544 FIREHOUSE ROAD  
MILTON, FL 32570

Sheet List Table

Sheet Number	Sheet Title
C000	NOTES & INFORMATION
C001	EXISTING SITE CONDITIONS
C002	SITE DEMOLITION PLAN
C003	TREE PROTECTION AND REMOVAL SUMMARY
C004	SITE IMPROVEMENTS PLAN
C005	SITE DIMENSIONING PLAN
C006	SITE GRADING PLAN
C007	SITE GRADING PLAN (DRIVES & POND)
C008	SITE UTILITY PLAN
C009	OFF-SITE IMPROVEMENTS PLAN
C010	SITE STORM WATER PLAN
C011	SITE LANDSCAPING PLAN
C012	SITE CONSTRUCTION DETAILS
C013	SITE STORM WATER DETAILS
C014	SITE UTILITY DETAILS
C015	SITE GRINDER & STORM WATER PUMP DETAILS
C016	SITE EROSION CONTROL DETAILS

DAG

ARCHITECTS

DAG Architects - AAC000745  
40 South Palatka Place, Suite 201  
Pensacola, Florida 32502  
850 429 9004  
www.DAGarchitects.com

PHASE III  
DOCUMENTS

NOT FOR  
CONSTRUCTION

D. PATRICK JEHLE, JR., P.E.  
#71528

SANTA ROSA COUNTY SCHOOL DISTRICT

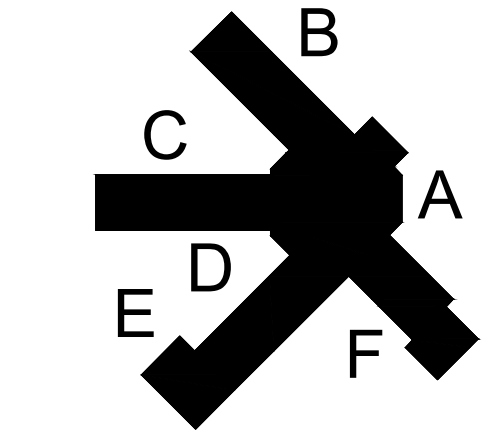
SCHOOL A

4910 CHARISMA STREET, MILTON, FL 32570

MCKIM&CREED

1206 N. Palafox Street  
Pensacola, FL 32501  
Phone: (850) 994-9503

CA Lic. No. 29988  
www.mckimcreed.com



REVISIONS:

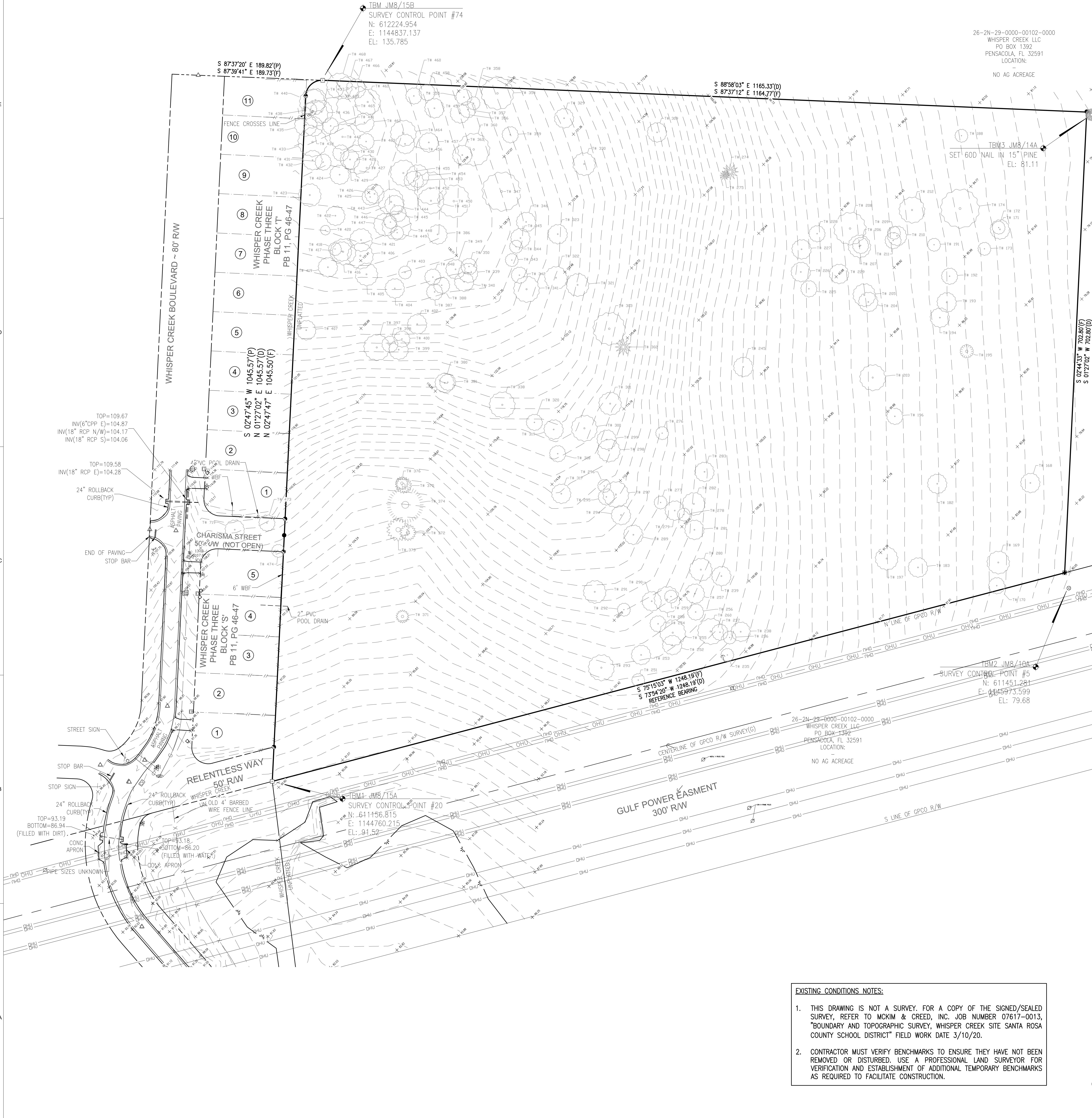
No.	Description	Date

NOTES &  
INFORMATION

Project Number	07617-0015
Dated	June 2, 2020
Drawn By	JDG/DPJj
Approved By	
PM	DPJj

C000





DESCRIPTION: (OFFICIAL RECORDS BOOK 2509, PAGE 104)

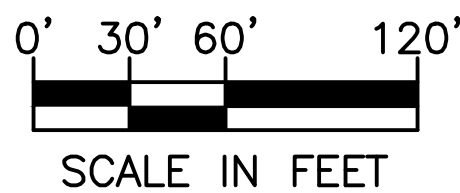
PARCEL 1: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 29 WEST, SANTA ROSA COUNTY, FLORIDA; THENCE GO NORTH 01°09'24" EAST ALONG THE EAST LINE OF SECTION 26 FOR A DISTANCE OF 3328.33 FEET TO THE NORTHERLY LINE OF A 300' WIDE GULF POWER COMPANY EASEMENT; THENCE GO SOUTH 73°54'20" WEST ALONG THE NORTHERLY LINE OF SAID 300' WIDE GULF POWER COMPANY EASEMENT FOR A DISTANCE OF 754.05 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 73°54'20" WEST ALONG SAID NORTHERLY LINE OF 300' WIDE GULF POWER COMPANY EASEMENT FOR A DISTANCE OF 1248.19 FEET; THENCE DEPARTING SAID NORTHERLY LINE OF 300' WIDE GULF POWER COMPANY EASEMENT GO NORTH 01°27'02" EAST FOR A DISTANCE OF 1045.57 FEET TO A POINT OF CURVATURE; THENCE GO NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET FOR AN ARC DISTANCE OF 39.09 FEET (DELTA = 89°34'55", CHORD BEARING = NORTH 46°14'30" EAST, CHORD DISTANCE = 35.23 FEET) TO THE POINT OF TANGENCY; THENCE GO SOUTH 88°58'03" EAST FOR A DISTANCE OF 1165.33 FEET; THENCE GO SOUTH 01°27'02" WEST FOR A DISTANCE OF 702.80 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED PARCEL OF LAND IS SITUATED IN SECTION 26, TOWNSHIP 2 NORTH, RANGE 29 WEST, SANTA ROSA COUNTY, FLORIDA.

GENERAL SURVEY NOTES:

1. NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE GRID BEARING OF S 75°15'03" W ALONG NORTH RIGHT-OF-WAY(R/W) LINE OF A 300' WIDE GULF POWER TRANSMISSION R/W AND IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; A COPY OF WHISPER CREEK PHASE THREE, AS RECORDED IN PLAT BOOK 11, AT PAGE 46, OF THE PUBLIC RECORDS OF SANTA ROSA COUNTY, FLORIDA; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
2. THE ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE REFERENCED TO THE UNITED STATES COASTAL AND GEODETIC SURVEY (USGS) BENCHMARK STAMPED "PACE 1934/1964", HAVING A PUBLISHED ELEVATION OF 151.84 FEET.
3. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
4. VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON.
5. THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
6. VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
7. IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBA COUNTY, FLORIDA, COMMUNITY PANEL NUMBERS 12033C0311G AND 12033C0313G, EFFECTIVE DATES OF SEPTEMBER 29, 2006.
8. GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
9. NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
10. THE SURVEYING BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER FOR MCKIM & CREED, INC. IS LB7917.
11. THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.

EXISTING CONDITIONS NOTES:

1. THIS DRAWING IS NOT A SURVEY. FOR A COPY OF THE SIGNED/SEALED SURVEY, REFER TO MCKIM & CREED, INC. JOB NUMBER 07617-0013, "BOUNDARY AND TOPOGRAPHIC SURVEY, WHISPER CREEK SITE SANTA ROSA COUNTY SCHOOL DISTRICT" FIELD WORK DATE 3/10/20.
2. CONTRACTOR MUST VERIFY BENCHMARKS TO ENSURE THEY HAVE NOT BEEN REMOVED OR DISTURBED. USE A PROFESSIONAL LAND SURVEYOR FOR VERIFICATION AND ESTABLISHMENT OF ADDITIONAL TEMPORARY BENCHMARKS AS REQUIRED TO FACILITATE CONSTRUCTION.



**LEGEND:**

- 1/2" DIA. CAPPED IRON ROD (LB7917)
- 1/2" DIA. CAPPED IRON ROD (LB7174)
- 1/2" DIA. CAPPED IRON ROD ("TRUE NORTH")
- 1/2" DIA. CAPPED IRON ROD (LB6112)
- 4"x4" CONCRETE MONUMENT (LB7174)
- 4"x4" CONCRETE MONUMENT (LB7917)
- NAIL & DISK (LB7174)
- 1/2" DIA. IRON ROD (UNNUMBERED)
- BENCHMARK
- CHAIN LINK FENCE
- WOOD PANEL FENCE
- OVERHEAD UTILITIES
- W BURIED WATER LINE
- G BURIED GAS LINE
- BE BURIED ELECTRIC LINE
- SF SILT FENCE
- TP TREE PROTECTION
- F FIRE PROTECTION SERVICE
- SS SEWER SERVICE
- STORMWATER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- SEWER VALVE
- ELECTRIC BOX
- COMMUNICATIONS VAULT
- GUY WIRE ANCHOR
- WOOD UTILITY POLE
- WOOD LIGHT POLE
- SINGLE SUPPORT SIGN
- LOT NUMBER
- SECTION NUMBER
- SPOT ELEVATION
- ELEVATION CONTOUR LINE AT ONE FOOT INTERVALS
- 500
- CONCRETE
- ASPHALT
- PERVIOUS PAVEMENT
- WETLANDS

**TREE LEGEND:**

- BAY
- GUM
- OAK
- PINE

**DAG ARCHITECTS**

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40 South Palatka Place, Suite 201  
Pensacola, Florida 32502  
850.429.9004  
www.DAGarchitects.com

**PHASE III DOCUMENTS**

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SCHOOL A**

4910 CHARISMA STREET, MILTON, FL 32570

**MCKIM & CREED**

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Pensacola, FL 32501  
Phone: (850) 994-9503

CA Lic. No. 29968  
www.mckimcreed.com

**REVISIONS:**

No.	Description	Date

**EXISTING SITE CONDITIONS**

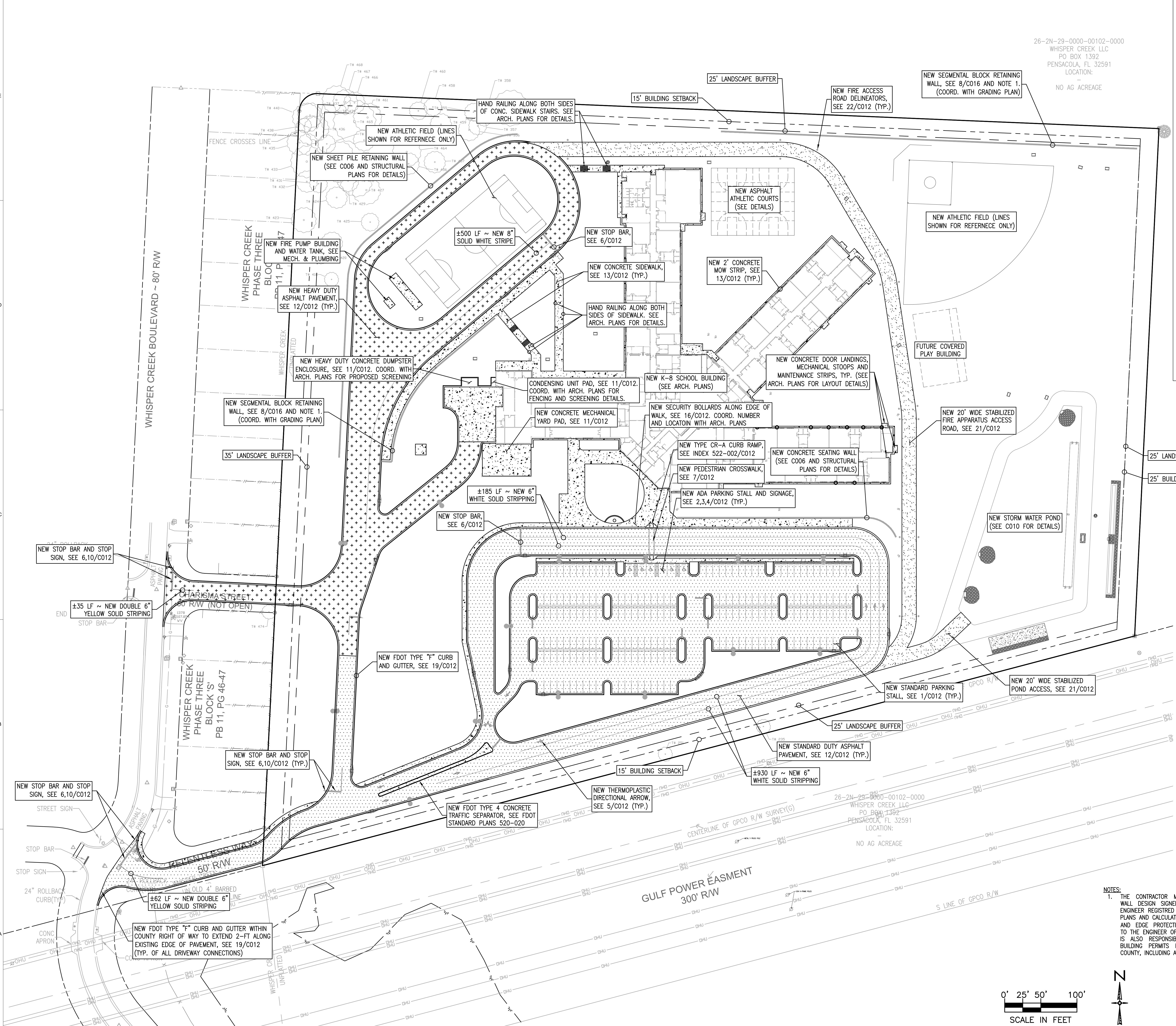
Project Number	07617-0015
Dated	June 2, 2020
Drawn By	JDG/DPJ
Approved By	
PM	DPJ

**C001**



07/17/2015  
PHASE II DOCUMENTS  
6/10/2020 8:12:11 AM

OWNERSHIP OF SERVICE: ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE CONSULTANT AS AN INSTRUMENT OF SERVICES SHALL REMAIN THE PROPERTY OF THE CONSULTANT. THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREIN. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT. AN INDIVIDUAL EMPLOYEE OR AGENT MAY NOT BE HELD INDIVIDUALLY LIABLE FOR NEGLIGENCE. PURSUANT TO FLORIDA STATUTES, SECTION 38.005, THE CONSULTANT SHALL NOT BE HELD INDIVIDUALLY LIABLE FOR NEGLIGENCE.



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**REVISIONS:**

No.	Description	Date

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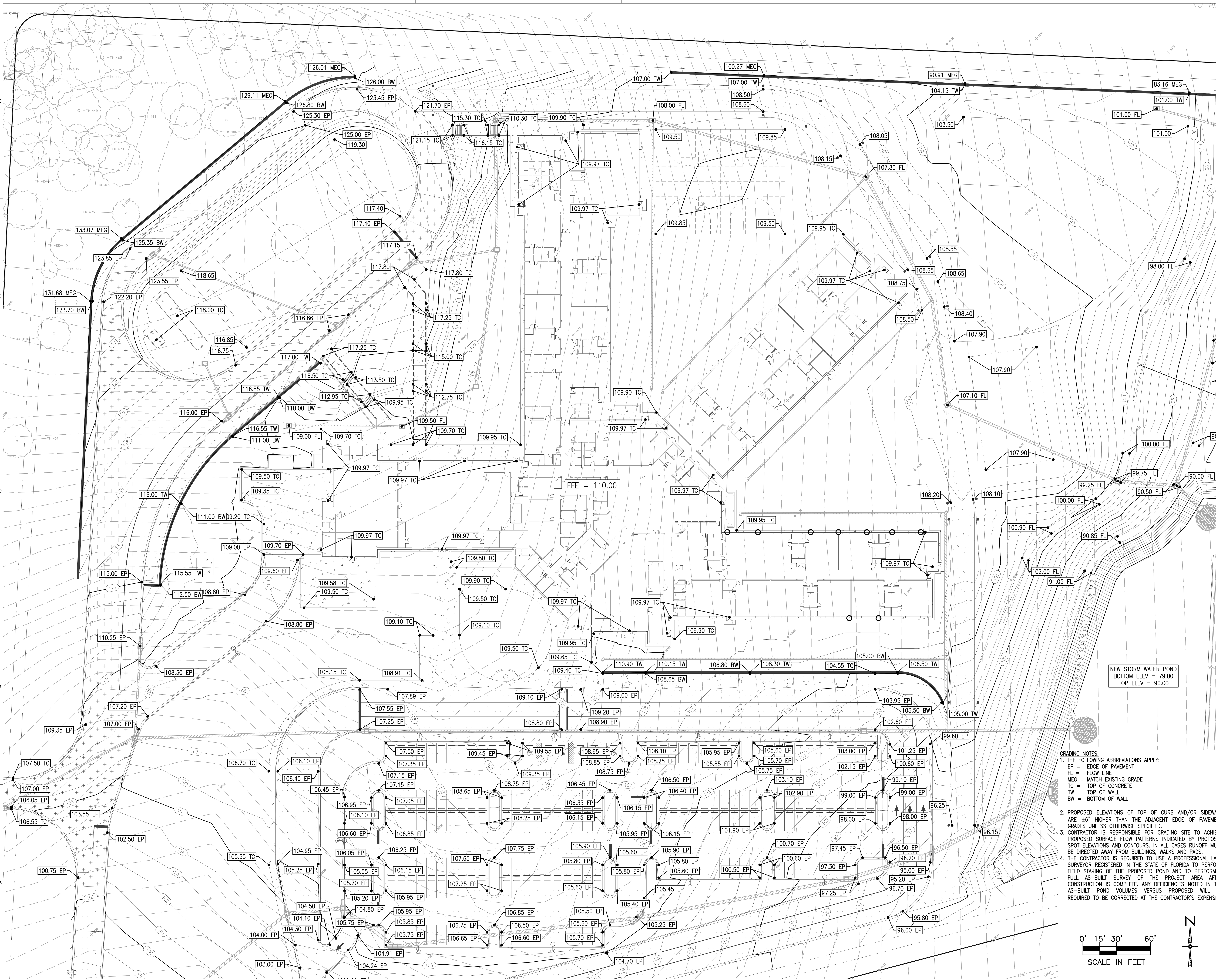
1. THE CONTRACTOR MUST SUBMIT COMPLETE ENGINEERED WALL DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA, INCLUDING PLANS AND CALCULATIONS FOR WALL FOUNDATION, DRAINAGE AND EDGE PROTECTION DESIGN (FENCE/GUARD RAIL/ETC) TO THE ENGINEER OF RECORD FOR APPROVAL. CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS FOR THE WALL FROM SANTA ROSA COUNTY, INCLUDING ALL PERMIT COSTS.

**SITE IMPROVEMENTS PLAN**

Project Number 07617-0015  
Dated June 2, 2020  
Drawn By JDG/DPJ  
Approved By  
PM DPJ

**C004**





**GRADING NOTES:**

1. THE FOLLOWING ABBREVIATIONS APPLY:  
EP = EDGE OF PAVEMENT  
FL = FLOW LINE  
MEG = MATCH EXISTING GRADE  
TC = TOP OF CONCRETE  
TW = TOP OF WALL  
BW = BOTTOM OF WALL

2. PROPOSED ELEVATIONS OF TOP OF CURB AND/OR SIDEWALK ARE  $\pm 6"$  HIGHER THAN THE ADJACENT EDGE OF PAVEMENT GRADUES UNLESS OTHERWISE SPECIFIED.

3. CONTRACTOR IS RESPONSIBLE FOR GRADING SITE TO ACHIEVE PROPOSED SURFACE FLOW PATTERNS INDICATED BY PROPOSED SPOT ELEVATIONS AND CONTOURS. IN ALL CASES RUNOFF MUST BE DIRECTED AWAY FROM BUILDINGS, WALKS AND PADS.

4. THE CONTRACTOR IS REQUIRED TO USE A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO PERFORM FIELD STAKING OF THE PROPOSED POND AND TO PERFORM A FULL AS-BUILT SURVEY OF THE PROJECT AREA AFTER CONSTRUCTION IS COMPLETE. ANY DEFICIENCIES NOTED IN THE AS-BUILT POND VOLUMES VERSUS PROPOSED WILL BE REQUIRED TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

A graphic scale bar is shown with markings at 0', 15', 30', and 60'. Below the bar is the text "SCALE IN FEET". To the right of the scale is a north arrow pointing upwards, labeled with a large "N".



ARCHITECTS

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40 South Palafox Place, Suite 201  
Pensacola, Florida 32502  
850.429.9004  
[www.DAGarchitects.com](http://www.DAGarchitects.com)

PHASE III  
DOCUMENTS

**NOT FOR  
CONSTRUCTION**

D. PATRICK JEHL, JR., P.E.  
#71528

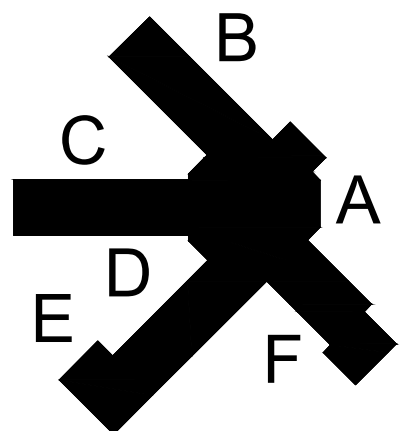
SANTA ROSA COUNTY SCHOOL DISTRICT  
SCHOOL A

4910 CHARISMA STREET, MILTON, FL 32570



1206 N. Palafox Street  
Pensacola, FL 32501  
Phone: (850) 994-9503

CA Lic. No. 25688  
[www.mckimcreed.com](http://www.mckimcreed.com)

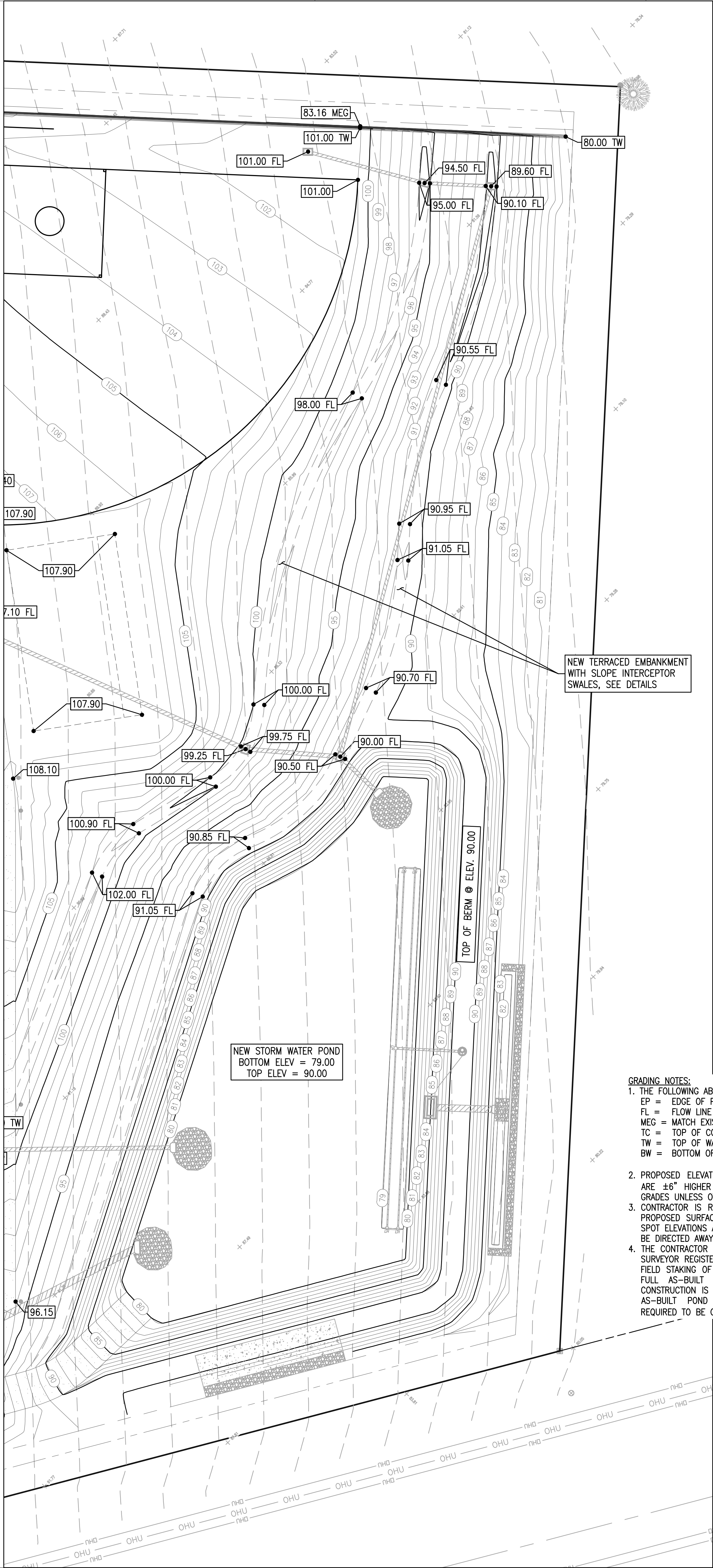
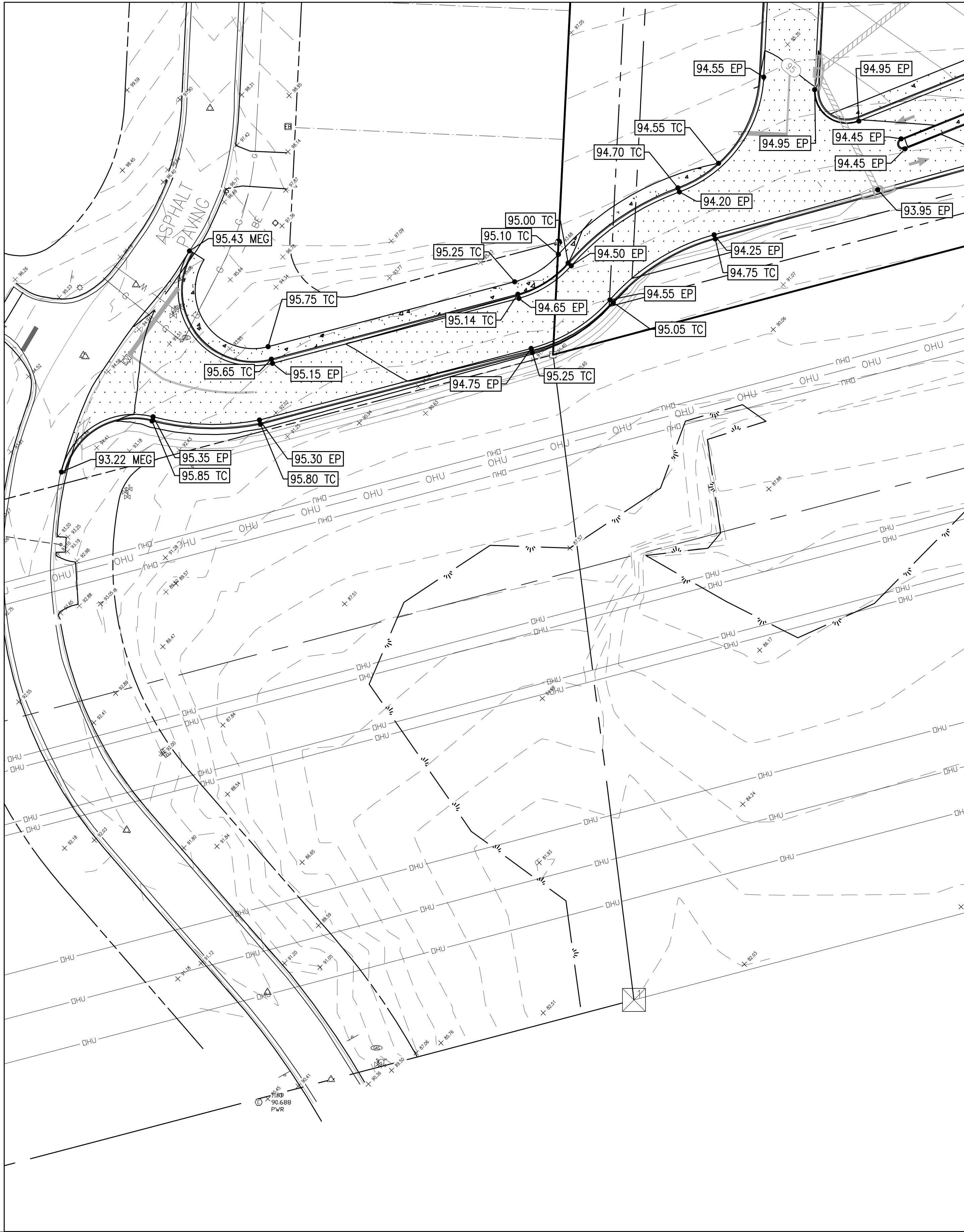
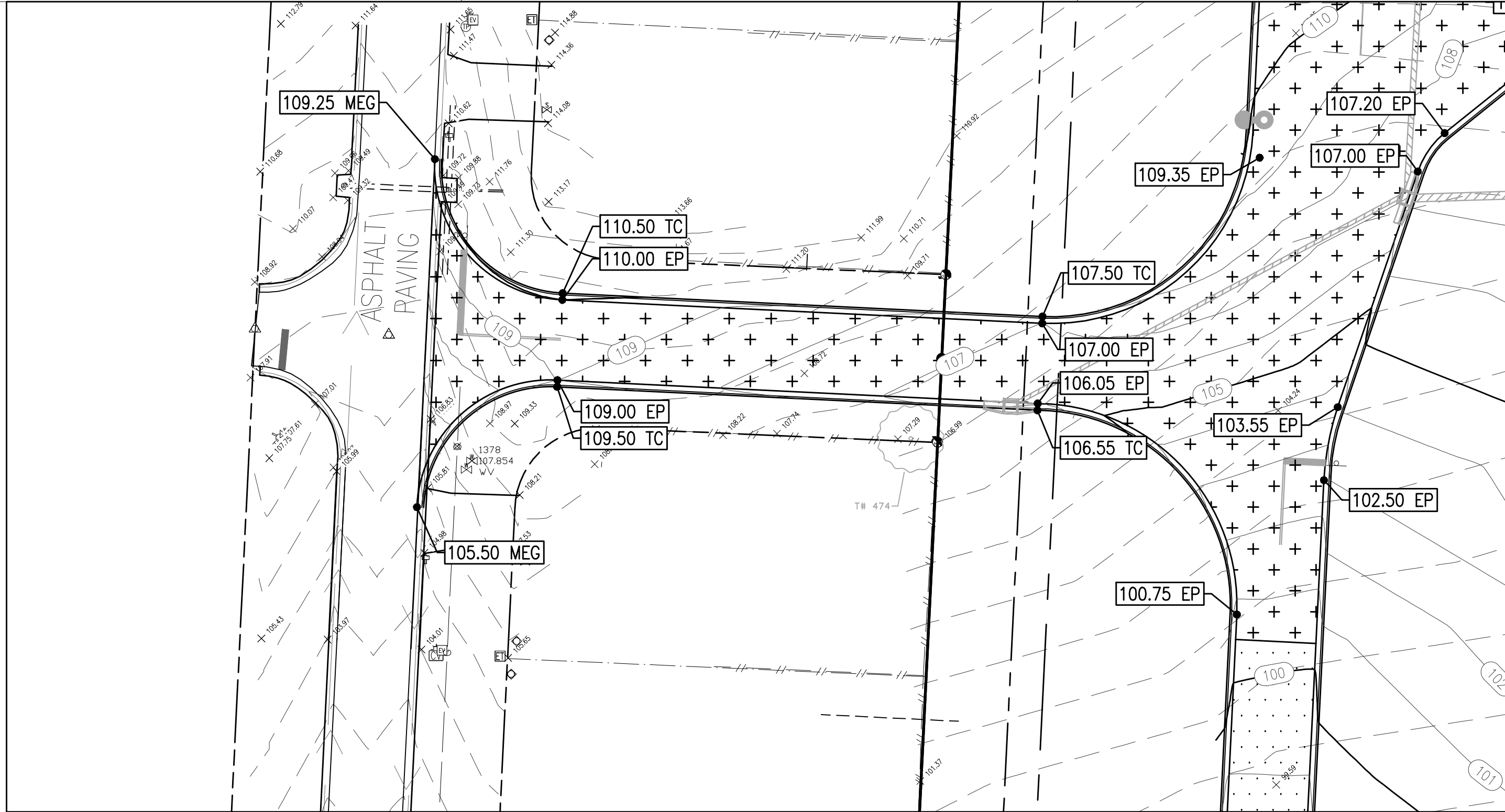
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# SITE GRADING PLAN

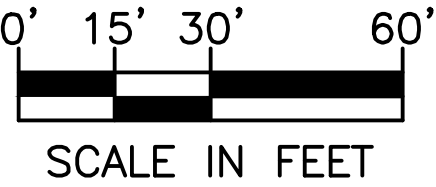
Project Number	07617-0015
Dated	June 2, 2020
Drawn By	JDG/DPJj
Approved By	
PM	DPJj

C006





- GRADING NOTES:**
1. THE FOLLOWING ABBREVIATIONS APPLY:  
EP = EDGE OF PAVEMENT  
FL = FLOW LINE  
MEG = MATCH EXISTING GRADE  
TC = TOP OF CONCRETE  
TW = TOP OF WALL  
BW = BOTTOM OF WALL
  2. PROPOSED ELEVATIONS OF TOP OF CURB AND/OR SIDEWALK ARE  $\pm 6"$  HIGHER THAN THE ADJACENT EDGE OF PAVEMENT GRADES UNLESS OTHERWISE SPECIFIED.
  3. CONTRACTOR IS RESPONSIBLE FOR GRADING SITE TO ACHIEVE PROPOSED SURFACE FLOW PATTERNS INDICATED BY PROPOSED SPOT ELEVATIONS AND CONTOURS. IN ALL CASES RUNOFF MUST BE DIRECTED AWAY FROM BUILDINGS, WALKS AND PADS.
  4. THE CONTRACTOR IS REQUIRED TO USE A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO PERFORM FIELD STAKING OF THE PROPOSED POND AND TO PERFORM A FULL AS-BUILT SURVEY OF THE PROJECT AREA AFTER CONSTRUCTION IS COMPLETE. ANY DEFICIENCIES NOTED IN THE AS-BUILT POND VOLUMES VERSUS PROPOSED WILL BE REQUIRED TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.



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PHASE III  
DOCUMENTS

NOT FOR  
CONSTRUCTION

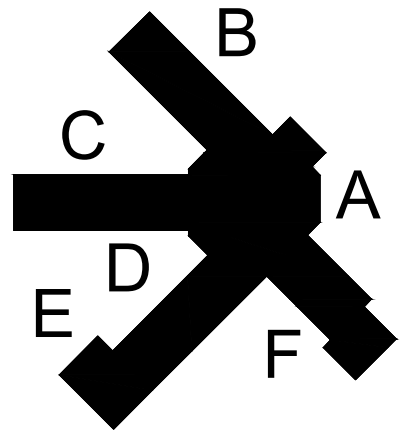
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REVISIONS:

No.	Description	Date

SITE  
GRADING  
PLAN (DRIVES  
& POND)

Project Number 07617-0015  
Dated June 2, 2020  
Drawn By JDG/DPJ  
Approved By  
PM DPJ

C007