

Index of Drawings

SHEET	TITLE
-------	-------

G1.1	COVER SHEET
<u>CIVIL</u>	
C0.0	NOTES AND INFORMATION
C1.0	EXISTING SITE CONDITIONS
C2.0	SITE DEMOLITION PLAN
C3.0	SITE IMPROVEMENTS PLAN
C4.0	SITE GRADING PLAN
C5.0	SITE STORM WATER & UTILITY PLAN
C6.0	MISCELLANEOUS CONSTRUCTION DETAILS
C7.0	SWPPP & EROSION CONTROL DETAILS

DECONSTRUCTION

D1.1	DECONSTRUCTION FLOOR PLAN – SOCIAL STUDIES WING
D1.2	DECONSTRUCTION FLOOR PLAN – LANGUAGE ARTS WING
D2.3	DECONSTRUCTION WALL SECTIONS
D4.1	EXISTING ELEVATIONS – SOCIAL STUDIES WING
D4.2	EXISTING ELEVATIONS – LANGUAGE ARTS WING

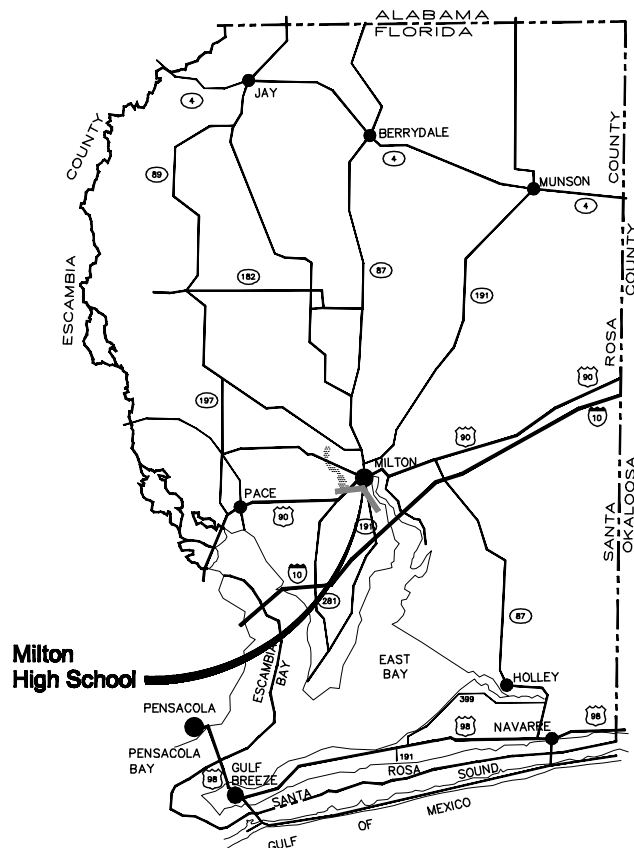
ARCHITECTURAL

A2.1	NEW WORK FLOOR PLAN – SOCIAL STUDIES WING
A2.2	NEW WORK FLOOR PLAN – LANGUAGE ARTS WING
A3.1	SCHEDULES – SOCIAL STUDIES WING
A3.2	SCHEDULES – LANGUAGE ARTS WING
A3.3	DOOR AND WINDOW DETAILS
A3.4	DETAILS
A3.5	GUARDRAIL AND HANDRAIL DETAILS
A4.1	NEW WORK ELEVATIONS – SOCIAL STUDIES WING
A4.2	NEW WORK ELEVATIONS – LANGUAGE ARTS WING
A5.1	CABINET ELEVATIONS
A5.2	CABINET SECTIONS
A9.1	REFLECTED CEILING PLAN – SOCIAL STUDIES WING
A9.2	REFLECTED CEILING PLAN – LANGUAGE ARTS WING

MILTON HIGH SCHOOL ENERGY UPGRADES

5525 STEWART STREET
MILTON, FL 32570

Vicinity Map



Conditions

ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.

GC SHALL VERIFY THE LOCATION OF ALL UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY AND SHALL PROVIDE FOR THE SAFETY OF ALL OCCUPANTS AT ALL TIMES.

IT IS CUSTOMARY AND ORDINARY NOT TO INCLUDE DETAILS WELL WITHIN THE KNOWLEDGE OF A LICENSED CONTRACTOR. METHODS OF CONSTRUCTION SHALL BE DETERMINED BY THE CONTRACTOR.

GC TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY PINDER-MARTIN ASSOCIATES, INC. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. ITEMS NOT DIMENSIONED AND DIMENSIONAL INFORMATION REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

GC SHALL PATCH AND REPAIR TO THEIR ORIGINAL CONDITION ALL EXISTING WALLS, FLOORS, CEILINGS, RECESSED CHANGES OR OTHER SURFACES TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.

ANY ERRORS, INCONSISTENCIES, OR OMISSIONS THAT THE CONTRACTOR MAY UNCOVER MUST BE REPORTED TO THE ARCHITECT AT ONCE. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY WORK AFTER START OF WORK WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. ARCHITECT SHALL APPROVE ALL METHODS OF CORRECTING ANY FAULTY OR ERRONEOUS WORK.

THE GC IS RESPONSIBLE FOR OBTAINING PERMITS (IF APPLICABLE) FOR FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.

GC SHALL RETAIN ON SITE ONE SET OF THE CONSTRUCTION DOCUMENTS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE UPDATED PRIOR TO REQUESTING ANY PAYMENT AND BE A PART OF THE GC'S CLOSE-OUT PACKAGE. PROVIDE ONE COPY ON PAPER AND ELECTRIC MEDIA.

WORK SHALL NOT OBSTRUCT OR OTHERWISE CAUSE TO BE INOPERATIVE EXISTING SITE OR ANY OTHER SITE'S FIRE PROTECTION SYSTEMS.

NO ASBESTOS MATERIALS SHALL BE ALLOWED ON OR IN THE WORK ZONE.

GC SHALL VISIT THE SITE, REVIEW ALL EXISTING CONDITIONS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO PLACING A BID. BY SUBMITTING A BID, THE GC ACKNOWLEDGES THIS REVIEW HAS TAKEN PLACE AND HIS BID INCLUDES ALL COSTS INVOLVED WITH DEALING WITH THESE EXISTING CONDITIONS.

THE CONTRACTOR SHALL CLEAN WORK AREA ON A DAILY BASIS.

ALL PARTITIONS ARE DIMENSIONED FROM ONE SIDE OF STUD WALL OR CMU WALL. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES.

DIMENSIONS MARKED +/- MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2" FROM INDICATED DIMENSION. U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION UPON COMPLETION OF PARTITION OF THE LAYOUT. NOTIFY THE ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION

TRIM THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR, AS APPLICABLE, BY 1/4" MAX, UNLESS OTHERWISE NOTED. VERIFY SLAB CONDITIONS. TRIM EACH DOOR TO FIT CONDITION. WHERE RADICAL VARIATIONS IN FLOOR ELEVATION EXIST, DOORS SHALL BE ORDERED WITH BOTTOM EDGES ADJUSTED TO ACCOMMODATE THESE UNDERGUT CONDITIONS AND THOSE INDICATED ON THE MECHANICAL DRAWINGS. SEE MECHANICAL DRAWINGS FOR DOORS TO BE UNDERCUT 1" AFF.

GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION.

"ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

"U.N.O." MEANS UNLESS NOTED OTHERWISE.

"TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS U.N.O.

"SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.

"VERIFY" OR "VER." MEANS TO ASCERTAIN/CONFIRM APPLICATION WITH ARCHITECT. PARTITIONS.

N.I.C. MEANS NOT IN CONTRACT.

VERIFY AND COORDINATE THE FOLLOWING WITH THE RESPECTIVE TRADES:

A. SIZES AND LOCATIONS OF MECH. AND/OR ELEC. PENETRATIONS.

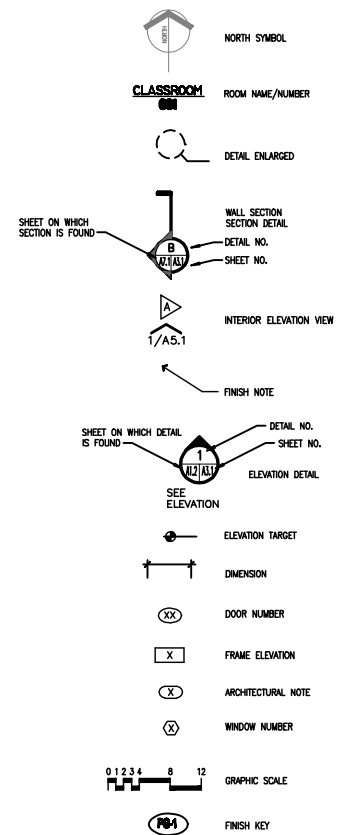
B. LOCATIONS FOR BACKING/BLOCKING REQUIRED FOR MOUNTING MECH. AND/OR ELEC. EQUIPMENT.

C. OUTLET AND PATCHING FOR WORK REQUIRED BY MECH. AND/OR ELEC.

D. CUTTING LOCATIONS IN RELATION TO MOUNTED ITEMS.

ALL ELECTRICAL WORK IS TO CONFORM WITH UNDERWRITERS CODES AND ALL LOCAL CODES HAVING JURISDICTION.

Symbol Legend



Project Team

ARCHITECT:	PINDER-MARTIN ASSOCIATES, INC. 1001 NORTH 12th AVENUE PENSACOLA, FL 32501 (850) 438-9110
CIVIL ENGINEER:	JEHL-HALSTEAD INC. 5414 HIGHWAY 90 MILTON, FL 32571 (850) 994-9503
MECHANICAL ENGINEER:	SCHMIDT CONSULTING GROUP, INC. 901 WEST GARDEN STREET PENSACOLA, FL 32502 (850) 438-0050
ELECTRICAL ENGINEER:	SCHMIDT CONSULTING GROUP, INC. 901 WEST GARDEN STREET PENSACOLA, FL 32502 (850) 438-0050

Building Information

MILTON HIGH SCHOOL CAMPUS IS LOCATED IN FEMA FLOOD ZONE 'X'.	
BUILDING CODE: FBC 2014	
WIND EXPOSURE:	'B'
IMP. FACTOR, WIND:	1.0
WIND SPEED:	160 MPH
TYPE OF CONSTRUCTION:	IB
RISK CATEGORY:	III
OCCUPANCY:	EDUCATIONAL

Product Approval

PRODUCT CATEGORY	ITEM	APPROVAL TYPE	REGISTRY APPROVAL NUMBER
INGERSOLL-RAND	EXTERIOR ENTRY DOORS	STATE	FL-5492.1
PEERLESS PRODUCTS	WINDOW SYSTEM	STATE	FL-12670.2

Set Number _____



PINDER-MARTIN ASSOCIATES, INC.
1801 N. 12th AVENUE
PENSACOLA, FL. 32501
850-438-0110
AA2000000

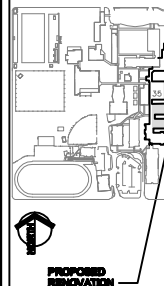
PROJECT:
MILTON HIGH SCHOOL
ENERGY UPGRADES

LOCATION:
MILTON HIGH SCHOOL
6000 STEWART STREET
MILTON, FLORIDA 32570

CONSULTANTS:
JENSEN-HALSTED, INC.
8014 HENRIEVILLE
MELTON, FL. 32661

**SCHMIDT CONSULTING GROUP,
80 WEST GARDEN STREET
PENSACOLA, FL 32502**

CAMPUS KEY PLAN



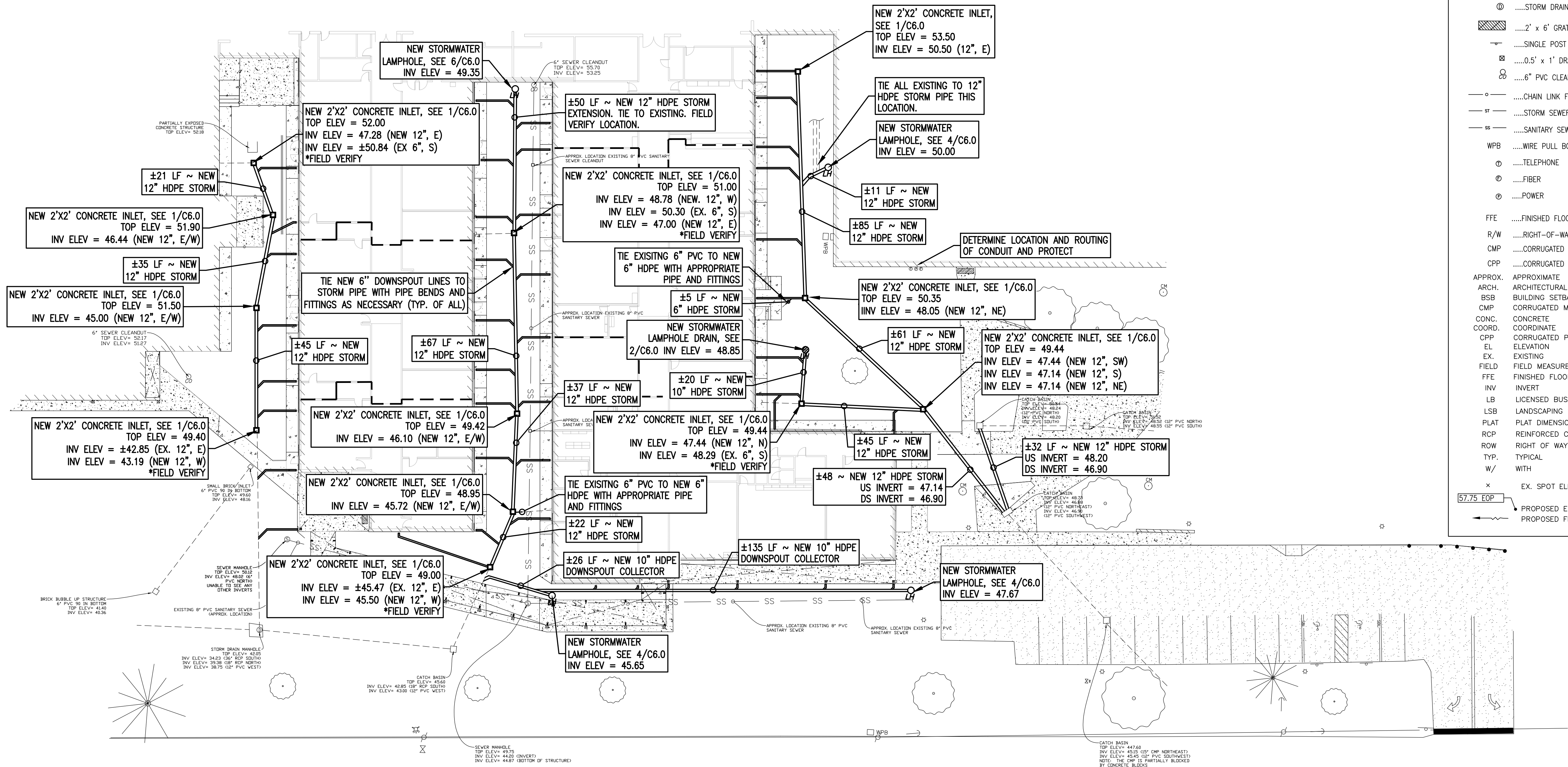
No.	Revision/Issue	C

DRAWN BY: hlg
 CHECKED BY: rgr
 FINDER-MARTIN ASSOCIATES, INC.
 Project #: 210

Phase Review 1:	80-
Phase 2:	80-
Phase 2:	10-
Final Plan Review:	10-
Release for Bidding:	10-

TITLE SHEET

G1.1
21007.01 G1.1



LEGEND

-GAS VALVE
-POWER POLE
-TELEVISION PEDESTAL
-FIRE HYDRANT
-WATER VALVE
-6" BOLLARD
-ROOF DRAIN
-4" LIGHT POLE W/ 1.3' BASE
-6" SQUARE CANOPY POST
-4" x 8" CANOPY POST
-SEWER MANHOLE
-STORM DRAIN MANHOLE
-2' x 6' GRATE AT ENTRANCE
-SINGLE POST SIGN
-0.5' x 1' DRAIN
-6" PVC CLEANOUT
-CHAIN LINK FENCE
-STORM SEWER
-SANITARY SEWER
- WPBWIRE PULL BOX
-TELEPHONE
-FIBER
-POWER
- FFEFINISHED FLOOR ELEVATION
- R/WRIGHT-OF-WAY
- CMPCORRUGATED METAL PIPE
- CPPCORRUGATED PLASTIC PIPE
- APPROX. APPROXIMATE
- ARCH. ARCHITECTURAL
- BSB BUILDING SETBACK
- CMP CORRUGATED METAL PIPE
- CONC. CONCRETE
- COORD. COORDINATE
- CPP CORRUGATED PLASTIC PIPE
- EL ELEVATION
- EX. EXISTING
- FIELD FIELD MEASURE
- FFE FINISHED FLOOR ELEVATION
- INV INVERT
- LB LICENSED BUSINESS
- LSB LANDSCAPING SETBACK
- PLAT PLAT DIMENSION
- RCP REINFORCED CONCRETE PIPE
- ROW RIGHT OF WAY
- TYP. TYPICAL
- W/ WITH
- x EX. SPOT ELEVATION
- 57.75 EOP PROPOSED ELEVATION
- PROPOSED FLOW PATTERN

pinder-martin architecture

PINDER-MARTIN ASSOCIATES, INC.
1001 N. 12th AVENUE
PENSACOLA, FL 32501
850-439-9110
AA26000896

PROJECT:
MILTON HIGH SCHOOL
ENERGY UPGRADES

LOCATION:
MILTON HIGH SCHOOL
5525 STEWART STREET
MILTON, FLORIDA 32570

CONSULTANTS:
JEHLE-HALSTEAD, INC.
5414 HIGHWAY 90
MILTON, FL 32571

SCHMIDT CONSULTING GROUP, INC.
901 WEST GARDEN STREET
PENSACOLA, FL 32502

CAMPUS KEY PLAN

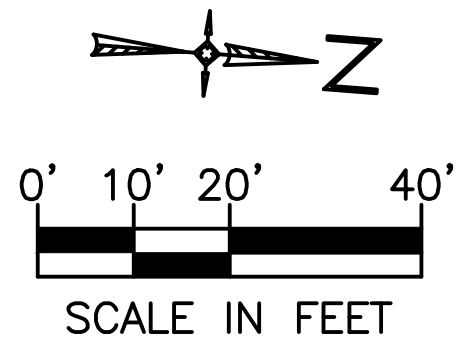
PROPOSED RENOVATION

No.	Revision/Issue	Date

DRAWN BY: kbg/djp
CHECKED BY: mgm
PINDER-MARTIN ASSOCIATES, INC.
Project #: 215007.01

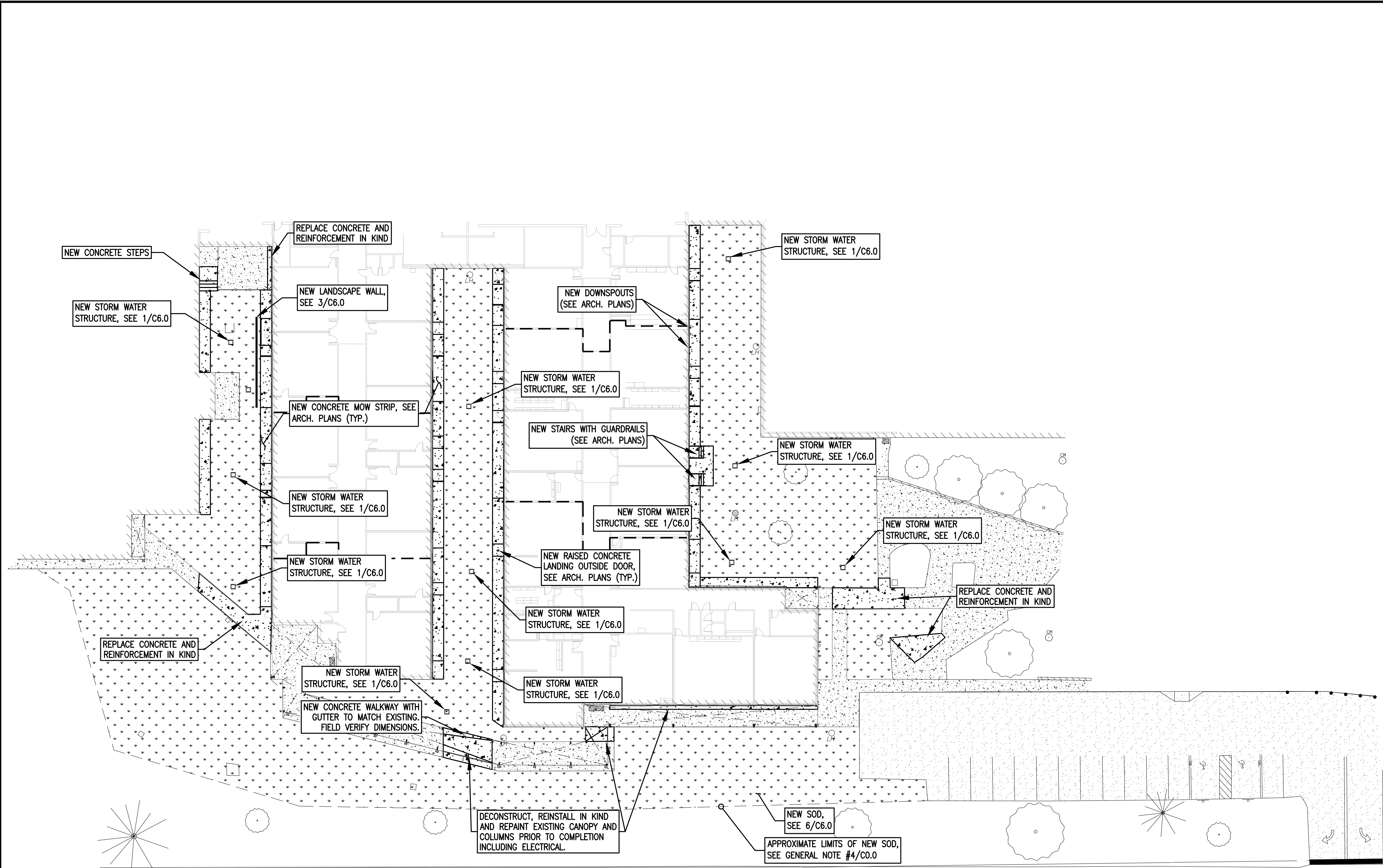
Phase Review 1: 08-19-15
Phase 2: 09-22-15
Phase 3: 10-22-15
PM Plan Review: 10-23-15
Release for Bidding: 10-30-15

SITE STORM WATER & UTILITY PLAN



SITE STORM
WATER & UTILITY
PLAN

C5.0



LEGEND

-GAS VALVE
-POWER POLE
-TELEVISION PEDESTAL
-FIRE HYDRANT
-WATER VALVE
-6" BOLLARD
-ROOF DRAIN
-4" LIGHT POLE W/ 1.3' BASE
-6" SQUARE CANOPY POST
-4" x 8" CANOPY POST
-SEWER MANHOLE
-STORM DRAIN MANHOLE
-2' x 6' GRATE AT ENTRANCE
-SINGLE POST SIGN
-0.5' x 1' DRAIN
-6" PVC CLEANOUT
-CHAIN LINK FENCE
-STORM SEWER
-SANITARY SEWER
- WPBWIRE PULL BOX
-TELEPHONE
-FIBER
-POWER
- FFEFINISHED FLOOR ELEVATION
- R/WRIGHT-OF-WAY
- CMPCORRUGATED METAL PIPE
- CPPCORRUGATED PLASTIC PIPE
- APPROX. ARCH. BSB CMP CONC. COORD. CPP EL EX. FIELD FFE INV LB LSB PLAT RCP ROW TYP W/ X
- APPROXIMATE ARCHITECTURAL BUILDING SETBACK CORRUGATED METAL PIPE. CONCRETE COORDINATE CORRUGATED PLASTIC PIPE. ELEVATION EXISTING FIELD MEASURE FINISHED FLOOR ELEVATION INVERT LICENSED BUSINESS LANDSCAPING SETBACK PLAT DIMENSION REINFORCED CONCRETE PIPE. RIGHT OF WAY TYPICAL WITH EX. SPOT ELEVATION
- 57.75 EOP
- PROPOSED ELEVATION
- PROPOSED FLOW PATTERN

PINDER-MARTIN ASSOCIATES, INC.
1001 N. 12th AVENUE
PENSACOLA, FL 32501
850-439-9110
AA26000896

PROJECT:
MILTON HIGH SCHOOL
ENERGY UPGRADES

LOCATION:
MILTON HIGH SCHOOL
5525 STEWART STREET
MILTON, FLORIDA 32570

CONSULTANTS:
JEHL-HALSTEAD, INC.
5414 HIGHWAY 90
MILTON, FL 32571

SCHMIDT CONSULTING GROUP, INC.
901 WEST GARDEN STREET
PENSACOLA, FL 32502

CAMPUS KEY PLAN

PROPOSED RENOVATION

No.	Revision/Issue	Date

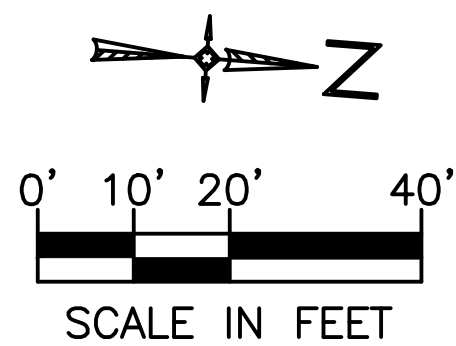
DRAWN BY: kbg/djp
CHECKED BY: mgm
PINDER-MARTIN ASSOCIATES, INC.
Project #: 215007.01

Phase Review 1: 08-19-15
Phase 2: 09-22-15
Phase 3: 10-22-15
PM Plan Review: 10-23-15
Release for Bidding: 10-30-15

SITE IMPROVEMENTS PLAN

C3.0

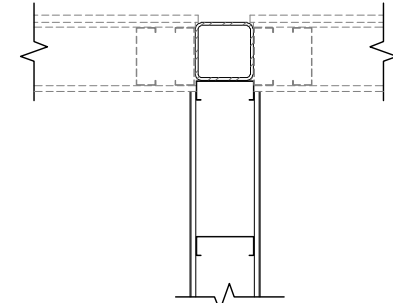
SITE IMPROVEMENTS PLAN



D01	REMOVE DOORS, FRAME, AND GLASS.
D02	REMOVE WINDOWS, DOORS, FRAMES, GLASS, STUCCO, INSULATION, SHEATHING, PLASTER AND PLASTER BASE, WOOD BASE, WOOD CHAIR RAILS, BLINDS PORTION OF CEILING GRID, AND ANY OTHER ITEMS THAT MAY BE REQUIRED TO BE REMOVED IN ORDER TO PROVIDE NEW WORK.
D03	REMOVE CONCRETE STOOP
D04	REMOVE CONCRETE STOOP AND RAILS.
D05	REMOVE SHELIVING AS REQUIRED IN ORDER TO INSTALL NEW EXTERIOR WALL.
D06	REMOVE PORTION OF CONCRETE WALK.
D07	REMOVE PORTION OF EQUIPMENT PAD, FENCING MECHANICAL EQUIPMENT AND ELECTRICAL. REPLACE AFTER NEW WORK IS COMPLETED.
D08	REMOVE PORTION OF EXISTING CONCRETE TO ALLOW FOR INSTALLATION OF NEW CAST IRON DOWNSPOUT BOOT.
D09	REMOVE ADDED BRICK VENEER AND ASSOCIATED FOOTING INCLUDING TRIM AT TOP OF WALL.

- | | |
|-----|---|
| D10 | REMOVE FREEZE-PROOF WALL HYDRANT AND INSTALL NEW. SEE SHEET
NOTES A2.2 |
| D11 | CAP PLUMBING PIPING TO SINK. NEXT CAP AT WALL AFTER CABINET
IS INSTALLED. |
| D12 | REMOVE FOLDING PARTITION JAMB AND REINSTALL. SEE A2.2 |
| D13 | REMOVE ALL ITEMS THIS ROOM. SEE A2.2 FOR NEW WORK. |
| D14 | REMOVE AND REPLACE CABINETS. |
| D15 | REMOVE CABINETS |
| D16 | REMOVE FCP, SCAB NEW STUDS TO EXISTING. INSTALL NEW GYPSUM
BASE AND PLASTER AND WOOD BASE. |
| D17 | DATA RACK COORDINATE REMOVAL W/ MIKE MARTIN. |
| D18 | EXISTING BRICK TO REMAIN. |
| D19 | REMOVE GUTTERS, DOWNSPOUTS, AND RAINWATER DIVERTERS. |
| D20 | REMOVE ADJUSTABLE SHELVING AND REINSTALL. SEE A2.1 |
| D21 | REMOVE CONCRETE STEPS |

1. REMOVE CARPET WHERE NEW CARPET IS SPECIFIED
2. REMOVE ALL GUTTERS, DOWNSPOUTS, AND BOOTS.
3. REMOVE ALL CEILING TILE AND INSULATION WHERE NEW CEILING TILE AND INSULATION IS SPECIFIED.
4. IF ITEMS ARE NOT SHOWN TO BE REMOVED AND DO NOT SHOW ON NEW WORK PLANS, REMOVE THOSE ITEMS.
5. DASHED LINES INDICATE ITEMS TO BE REMOVED.



1 INTERIOR DEMOLITION AT COLUMN (ASSUMED)
 SCALE: 1 1/2" = 1'-0" NOTE: DETAIL MAY VARY @ EACH PARTITION, TYP. BOTH WINGS



FREDERICK-MARTIN ASSOCIATES, INC.
1001 N. 12th Avenue
PENSACOLA, FL 32501
904-439-6119
AA20000000

PROJECT:
MILTON HIGH SCHOOL
ENERGY UPDATES

LOCATION:
MILTON HIGH SCHOOL
6000 STEWART STREET
MILTON, FLORIDA 32570

CONSULTANTE:
JENIE HALSTEAD, INC.
604 HENRIEY RD
MILTON, FL 32671

SECRET CONSULTING GROUP, INC.
801 WEST GARDEN STREET
FERNDALE, FL 33511

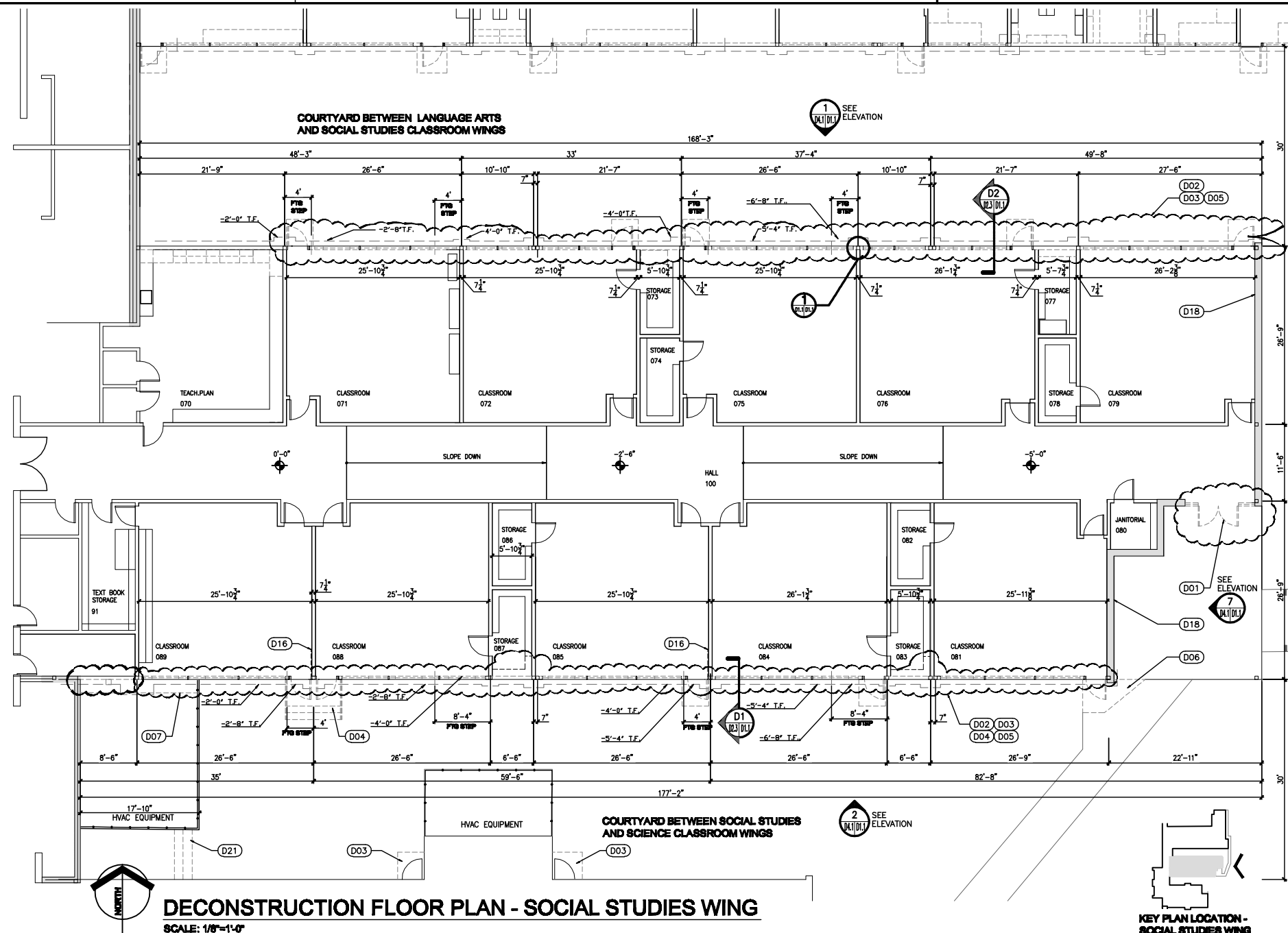
PROPOSED RENOVATION —

No.	Revision/Issue	Date

**DECONSTRUCTION
FLOOR PLAN
SOCIAL SCIENCES
WING**

D1.1

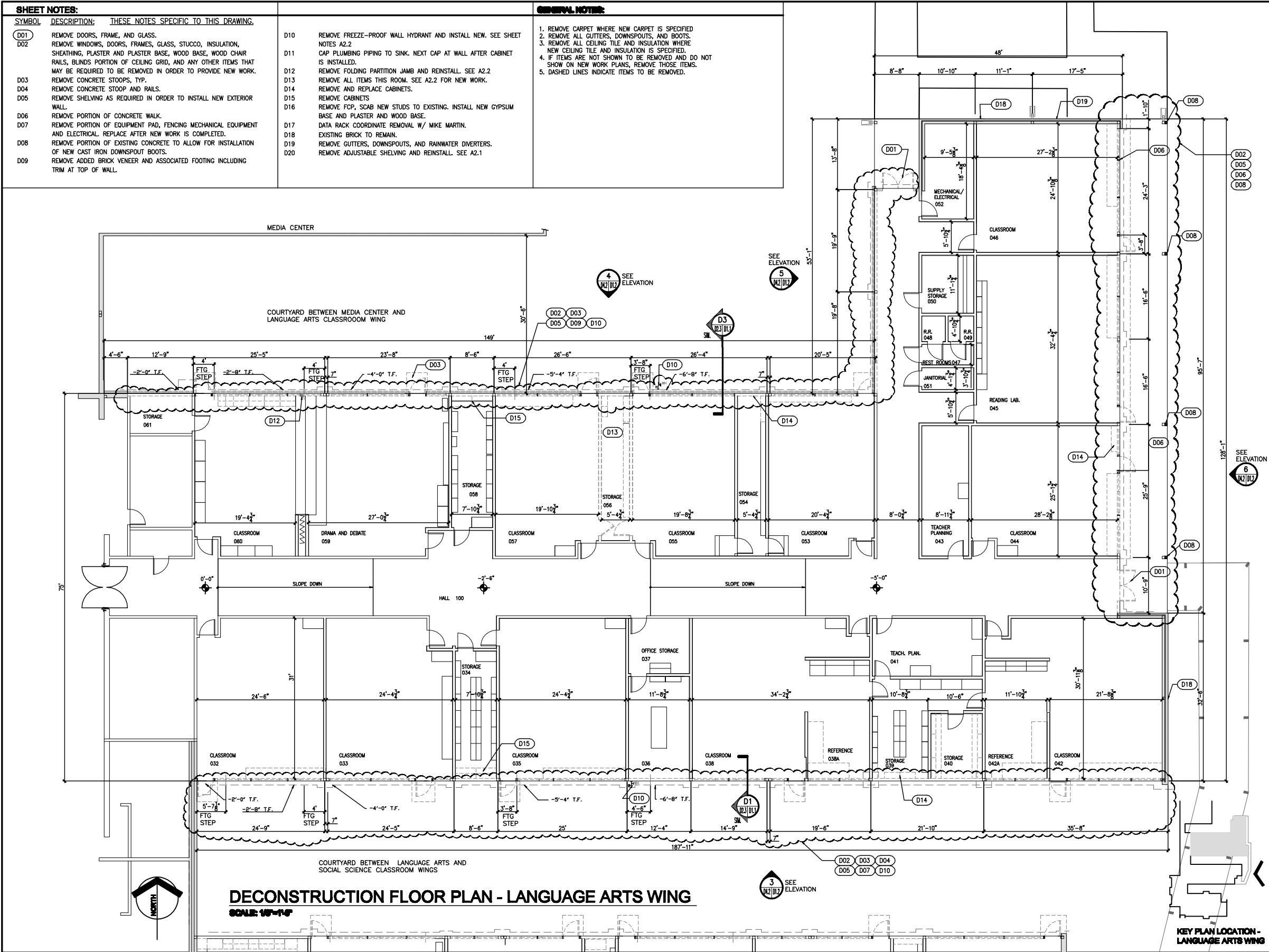
210007.01 01_1 - Existing Social Studies Widespread



DECONSTRUCTION FLOOR PLAN - SOCIAL STUDIES WING

SCALE: 1/8"=1'-0"

**KEY PLAN LOCATION -
SOCIAL STUDIES WING**



PROJEN: MILTON HIGH SCHOOL, ENERGY UPGRADES

LOCATION: MILTON HIGH SCHOOL, 6805 STANFORD STREET, MILTON, FLORIDA 32609

CONSULTANTS: JENSEN & ASSOCIATES, INC., 1001 N. 12TH AVENUE, PENSACOLA, FL 32501, 904-433-9119, JAA000000

DESIGN CONSULTING GROUP, INC., 1001 N. 12TH AVENUE, PENSACOLA, FL 32501

CAMPUS KEY PLAN

PROPOSED RENOVATION

No.	Revision/Issue	Date

DESIGNATION BY: Map/3p
CHECKED BY: Map/3p
PROJECT: JENSEN & ASSOCIATES, INC., 1001 N. 12TH AVENUE, PENSACOLA, FL 32501, 904-433-9119, JAA000000

Phase Number 1: 00-00-00
Phase 2: 00-00-00
Phase 3: 00-00-00
Phase 4: 00-00-00
Phase 5: 00-00-00

DECONSTRUCTION FLOOR PLAN

D1.2

210007.01 D1.2 - Existing Language Arts Wing