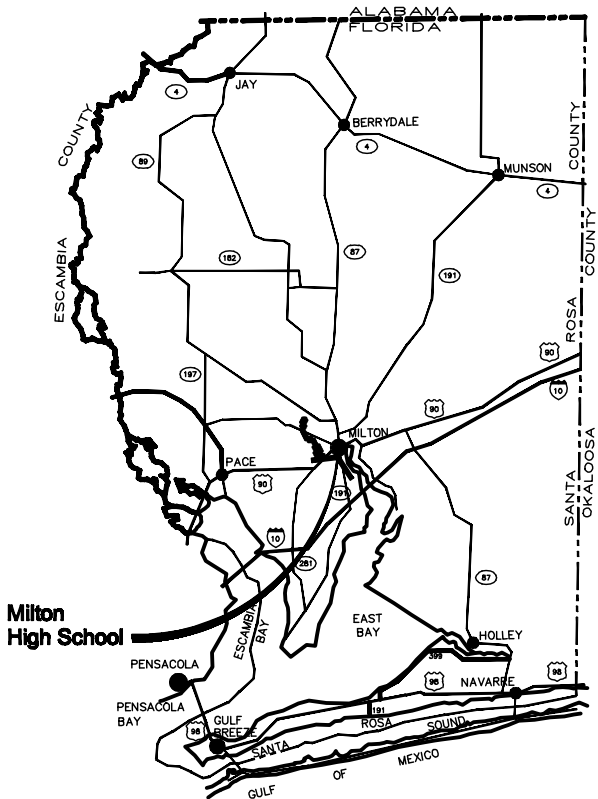


# MILTON HIGH SCHOOL ENERGY UPGRADES

5825 STEWART STREET  
MILTON, FL 32570

## Vicinity Map



## Conditions

ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.

GC SHALL VERIFY THE LOCATION OF ALL UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY AND SHALL PROVIDE FOR THE SAFETY OF ALL OCCUPANTS AT ALL TIMES.

IT IS CUSTOMARY AND ORDINARY NOT TO INCLUDE DETAILS WELL WITHIN THE KNOWLEDGE OF A LICENSED CONTRACTOR. METHODS OF CONSTRUCTION SHALL BE DETERMINED BY THE CONTRACTOR.

GC TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY PINDER-MARTIN ASSOCIATES, INC. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. ITEMS NOT DIMENSIONED AND DIMENSIONAL INFORMATION REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

GC SHALL PATCH AND REPAIR TO THEIR ORIGINAL CONDITION ALL EXISTING WALLS, FLOORS, CEILINGS, FENCING, CANOPIES OR OTHER SURFACES TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.

ANY ERRORS, INCONSISTENCIES, OR OMISSIONS THAT THE CONTRACTOR MAY UNCOVER MUST BE REPORTED TO THE ARCHITECT AT ONCE. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY WORK AFTER START OF WORK WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. ARCHITECT SHALL APPROVE ALL METHODS OF CORRECTING ANY FAULTY OR ERRONEOUS WORK.

THE GC IS RESPONSIBLE FOR OBTAINING PERMITS (IF APPLICABLE) FOR FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.

GC SHALL RETAIN ON SITE ONE SET OF THE CONSTRUCTION DOCUMENTS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE UPDATED PRIOR TO REQUESTING ANY PAYMENT AND BE A PART OF THE GC'S CLOSE-OUT PACKAGE. PROVIDE ONE COPY ON PAPER AND ELECTRIC MEDIA.

WORK SHALL NOT OBSTRUCT OR OTHERWISE CAUSE TO BE INOPERATIVE EXISTING SITE OR ANY OTHER SITE'S FIRE PROTECTION SYSTEMS.

NO ASBESTOS MATERIALS SHALL BE ALLOWED ON OR IN THE WORK ZONE.

GC SHALL VISIT THE SITE, REVIEW ALL EXISTING CONDITIONS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO PLACING A BID. BY SUBMITTING A BID, THE GC ACKNOWLEDGES THIS REVIEW HAS TAKEN PLACE AND HIS BID INCLUDES ALL COSTS INVOLVED WITH DEALING WITH THESE EXISTING CONDITIONS.

THE CONTRACTOR SHALL CLEAN WORK AREA ON A DAILY BASIS.

ALL PARTITIONS ARE DIMENSIONED FROM ONE SIDE OF STUD WALL OR CMU WALL. ALL DIMENSIONS MARKED "CLR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES.

DIMENSIONS MARKED +/- MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2" FROM INDICATED DIMENSION. U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION OF THE LAYOUT, NOTIFY THE ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.

TRIM THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR, AS APPLICABLE, BY 1/4" MAX., UNLESS OTHERWISE NOTED. VERIFY SLAB CONDITIONS. TRIM EACH DOOR TO FIT CONDITION. WHERE RADICAL VARIATIONS IN FLOOR ELEVATION EXIST, DOORS SHALL BE ORDERED WITH BOTTOM STILE SIZED TO ACCOMMODATE THESE UNDERCUT CONDITIONS AND THOSE INDICATED ON THE MECHANICAL DRAWINGS. SEE MECHANICAL DRAWINGS FOR DOORS TO BE UNDERCUT 1" AFF.

GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION.

"ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

"U.N.O." MEANS UNLESS NOTED OTHERWISE.

"TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS U.N.O.

"SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.

"VERIFY" OR "VER." MEANS TO ASCERTAIN/CONFIRM APPLICATION WITH ARCHITECT. PARTITIONS.

N.I.C. MEANS NOT IN CONTRACT.

VERIFY AND COORDINATE THE FOLLOWING WITH THE RESPECTIVE TRADES:

A. SIZES AND LOCATIONS OF MECH. AND/OR ELEC. PENETRATIONS.

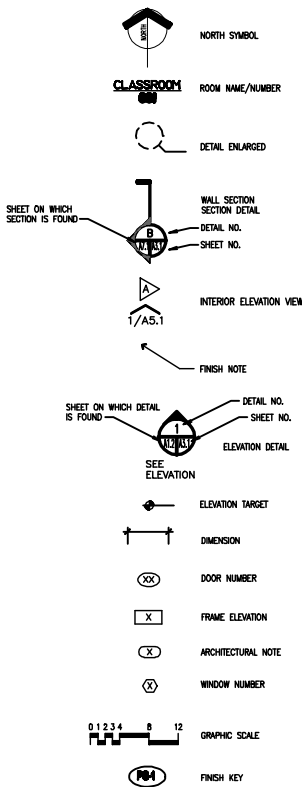
B. LOCATIONS FOR BACKING/BLOCKING REQUIRED FOR MOUNTING MECH. AND/OR ELEC. EQUIPMENT.

C. CUTTING AND PATCHING FOR WORK REQUIRED BY MECH. AND/OR ELEC.

D. OUTLET LOCATIONS IN RELATION TO WALL MOUNTED ITEMS.

ALL ELECTRICAL WORK IS TO CONFORM WITH UNDERWRITERS CODES AND ALL LOCAL CODES HAVING JURISDICTION.

## Symbol Legend



## Project Team

ARCHITECT: PINDER-MARTIN ASSOCIATES, INC.  
1001 NORTH 12TH AVENUE  
PENSACOLA, FL 32501  
(850) 438-0110

MECHANICAL ENGINEER: SCHMIDT CONSULTING GROUP, INC.  
40 SOUTH PALAFOX, SUITE 300  
PENSACOLA, FL 32502  
(850) 438-0050

ELECTRICAL ENGINEER: SCHMIDT CONSULTING GROUP, INC.  
40 SOUTH PALAFOX, SUITE 300  
PENSACOLA, FL 32502  
(850) 438-0050

## Building Information

MILTON HIGH SCHOOL CAMPUS IS LOCATED IN FEMA FLOOD ZONE "X".

BUILDING CODE: FBC 2014  
WIND EXPOSURE: "B"  
IMP. FACTOR, WIND: 1.0  
WIND SPEED: 160 MPH  
TYPE OF CONSTRUCTION: III  
RISK CATEGORY: III  
OCCUPANCY: EDUCATIONAL

## Product Approval

PRODUCT CATEGORY	ITEM	APPROVAL TYPE	REGISTRY APPROVAL NUMBER
INGERSOLL-RAND	EXTERIOR ENTRY DOORS	STATE	FL-5482.1
PEERLESS PRODUCTS	WINDOW SYSTEM	STATE	FL-12870.2

## Set Number



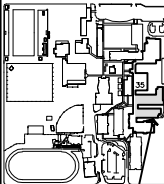
PINDER-MARTIN ASSOCIATES, INC.  
1001 N. COLAFOX  
PENSACOLA, FL 32501  
(850) 438-0110  
PMA000000

PROJECT:  
MILTON HIGH SCHOOL  
ENERGY UPGRADES

LOCATION:  
MILTON HIGH SCHOOL  
5825 STEWART STREET  
MILTON, FL 32570

CONSULTANT:  
SCHMIDT CONSULTING GROUP, INC.  
40 SOUTH PALAFOX, SUITE 300  
PENSACOLA, FL 32502

## KEY PLAN



## PROPOSED RENOVATION

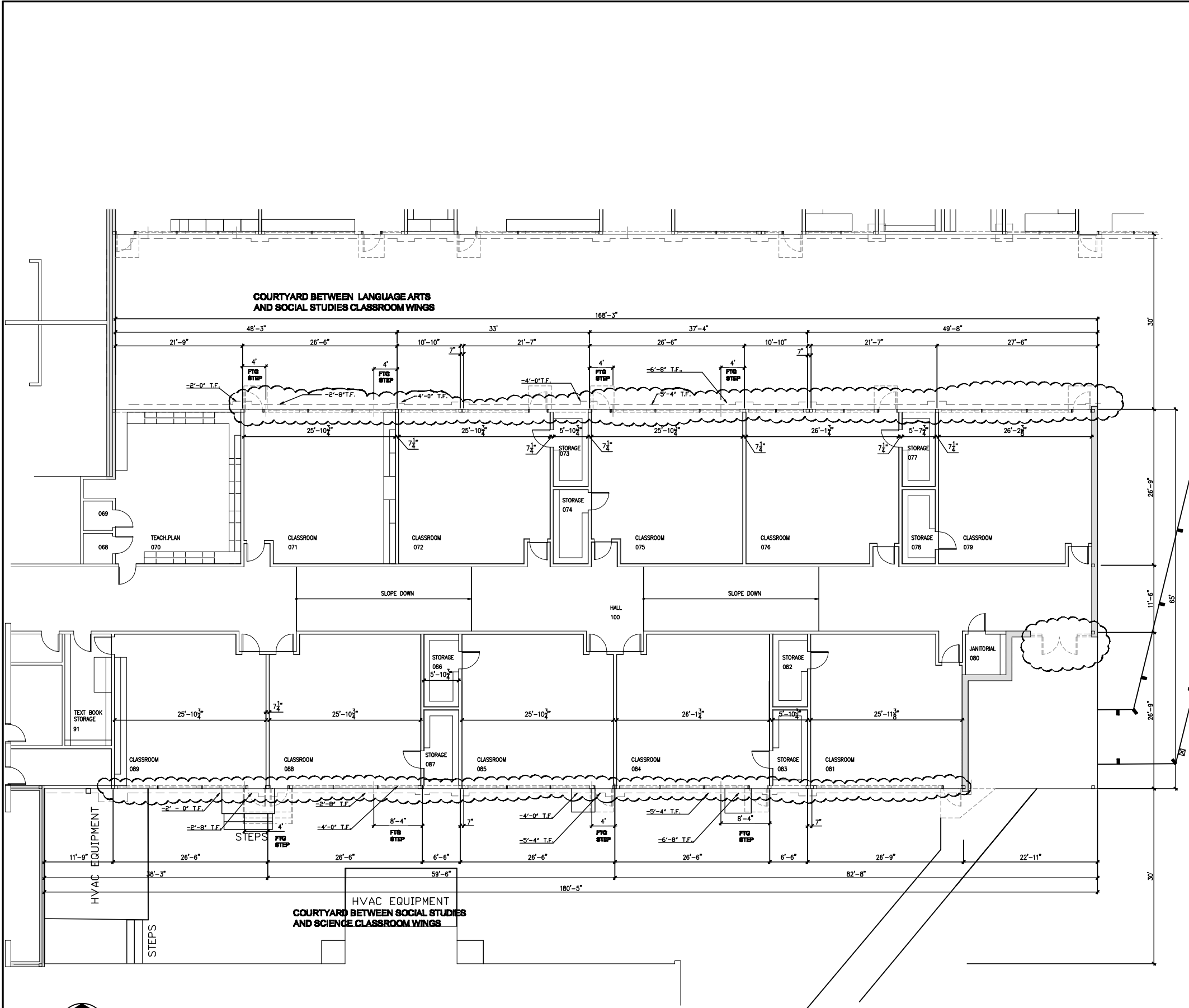
No.	Revision/Issue	Date

DRAWN BY: kgp  
CHECKED BY: rgn  
PROJECT MANAGER: PMA0000000000, INC.  
Project #: 210007.01

Phase Review 1: 03-02-15  
Phase 2: 03-03-15  
Phase 3: -  
PM Plan Period: -  
Release for Bidding: -

## TITLE SHEET

G1.1  
210007.01 G1\_1



**SHEET NOTES:**  
SYMBOL DESCRIPTION: (THESE NOTES SPECIFIC TO THIS DRAWING)  
D1 XXX

**GENERAL NOTES:**  
1. REMOVE CARPET WHERE NEW CARPET IS SPECIFIED  
2. REMOVE ALL GUTTERS, DOWNSPOUTS, AND BOOTS.  
3. REMOVE ALL CEILING TILE AND INSULATION WHERE NEW CEILING TILE AND INSULATION IS SPECIFIED.

**DEMOLITION LEGEND:**

INDICATES REMOVAL OF WALL SYSTEM IN ITS ENTIRETY INCLUDING WINDOW SYSTEMS, DOOR ASSEMBLIES, EXTERIOR VENEER, ETC.

REMOVE CONC LANDINGS  
REMOVE EXISTING DOOR, FRAME, CASING, HARDWARE & RELATED ITEMS COMPLETELY.

PATCH FLOOR AND MISCELLANEOUS OTHER ITEMS AS REQUIRED TO RECEIVE NEW WALL SYSTEM AND INT. & EXT. FINISHES.

REMOVE HORIZ. & VERT. WELDED 2x TUBE STEEL. PREP TO RECEIVE NEW WORK.

INDICATES TO REMAIN

D3  
SECTION TARGET  
02.1 (D.1)

**GENERAL DEMOLITION NOTES:**

A. THE CONTRACTOR SHALL VISIT THE BUILDING AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS.

B. THE DEMOLITION PLANS ARE SHOWN FOR PURPOSE OF DEPICTING GENERAL SCOPE AND SOME SPECIFIC REQUIREMENTS. THESE DEMOLITION PLANS IN NO WAY INTEND TO DIRECT OR LIMIT THE WORK AS REQUIRED FOR A COMPLETE PROJECT.

C. REFER TO ALL CONSTRUCTION DOCUMENTS PRIOR TO DEMOLITION.

D. REFER TO OTHER DISCIPLINES FOR ADDITIONAL DEMOLITION WORK.

E. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SAFEGUARDS TO MAINTAIN ALL PARTS OF THE STRUCTURE IN A SAFE CONDITION AT ALL TIMES DURING THE PROCESS OF CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING BUILDING WHICH ARE TO REMAIN.

F. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITION OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.

G. DEMOLITION NOTES AND DRAWINGS ARE INTENDED TO PROVIDE A GENERAL INDICATION OF THE EXTENT OF WORK TO BE REMOVED AND INCLUDE THE GENERAL INTENT AND SCOPE OF REPAIR, PATCHING AND CLEANING WORK.

H. IT IS NOT INTENDED THAT THE DRAWINGS INDICATE EACH AND EVERY ITEM OF DEMOLITION OR PATCHING REQUIRED TO COMPLETE THE WORK. DEMOLITION AND PATCHING SHALL BE PERFORMED AS REQUIRED TO COMPLETE THE WORK AS INDICATED REGARDLESS OF WHETHER THE WORK IS SPECIFICALLY NOTED ON THE DRAWINGS.

I. THE BUILDING SHOULD NOT CONTAIN HAZARDOUS SUBSTANCES. SHOULD CONCEALED HAZARDOUS MATERIALS BE DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER & ARCHITECT.

J. THESE NOTES SHALL APPLY TO OTHER DISCIPLINE'S DEMOLITION DOCUMENTS.

**DECONSTRUCTION FLOOR PLAN - SOCIAL SCIENCES WING**

**D1.1**  
2/28/27/21 D1.1 - 1 - 0100

**Pinner-Martin Architecture**  
Pinner-Martin Associates, Inc.  
1001 N. 12th Avenue  
Pensacola, FL 32501  
850-433-0110  
AA00000000

**PROJECT:**  
MILTON HIGH SCHOOL  
ENERGY UPDATES

**LOCATION:**  
MILTON HIGH SCHOOL  
888 STEWART STREET  
MILTON, FLORIDA 32589

**CONSULTANTS:**  
SCHMIDT CONSULTING GROUP, INC.  
4000 W. 11th Avenue  
Pensacola, FL 32506

**KEY PLAN**

No.	Revision/Issue	Date

**PROPOSED RENOVATION**

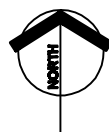
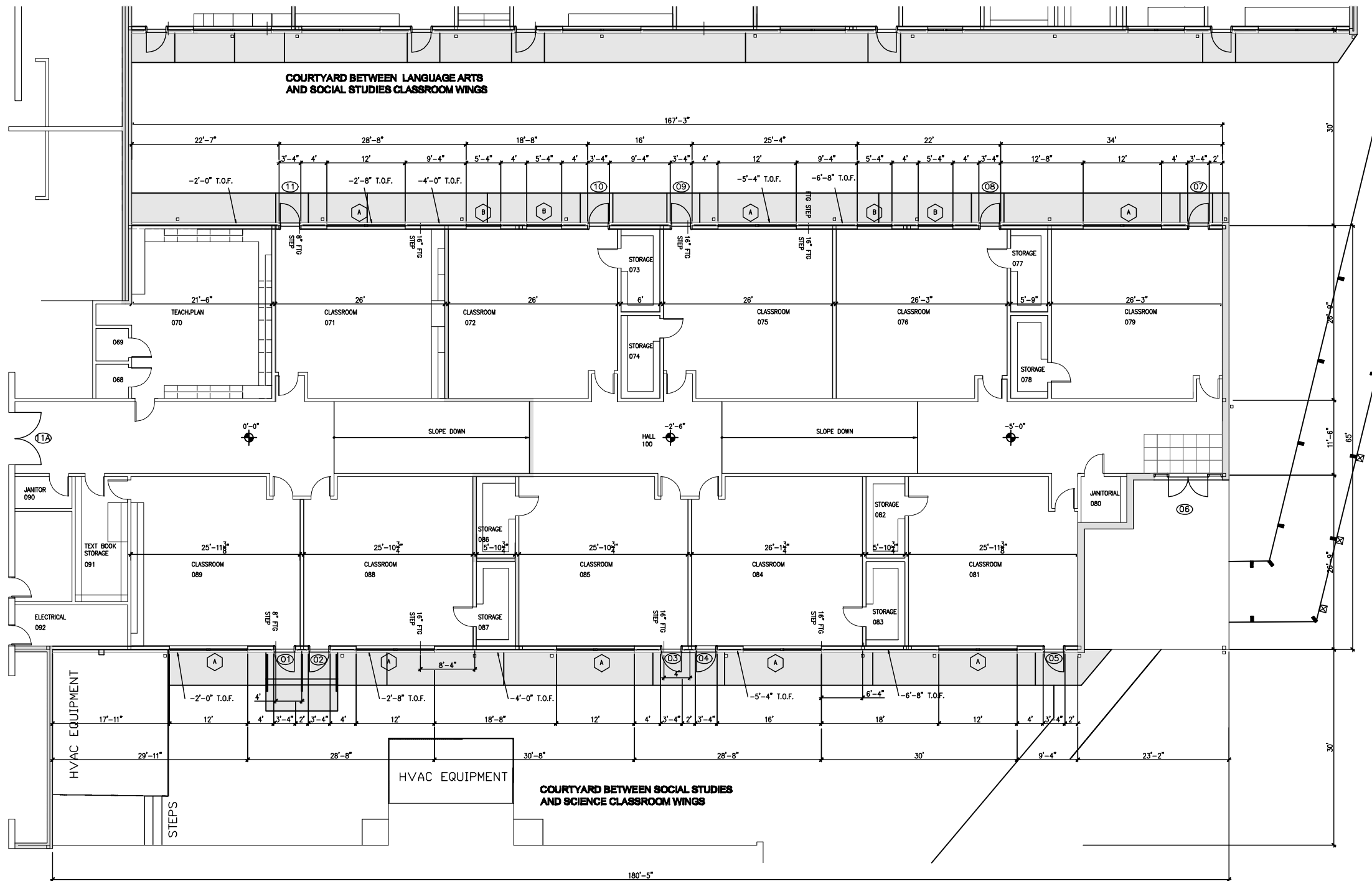
DESIGNED BY:	ldg/ldg
CHECKED BY:	ldg/ldg
PROJECT MANAGER:	ldg/ldg
DATE:	2/28/27/21

Phase 1:	08-10-26
Phase 2:	08-28-26
Phase 3:	-
Phase 4:	-
Phase 5:	-

**DECONSTRUCTION FLOOR PLAN - SOCIAL SCIENCES WING**

**D1.1**  
2/28/27/21 D1.1 - 1 - 0100





**NEW WORK FLOOR PLAN - SOCIAL STUDIES WING**

SCALE: 1/8"=1'-0"



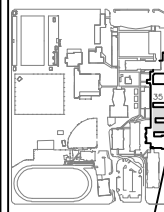
PINDER-MARTIN ASSOCIATES, INC.  
1801 N. 12th Avenue  
PENSACOLA, FL 32504  
850-433-0110  
AA20000000

PROJECT:  
MILTON HIGH SCHOOL  
ENERGY UPDATES

LOCATION:  
MILTON HIGH SCHOOL  
888 EYENAVY STREET  
MILTON, FLORIDA 32570

CONSULTANTS:  
SCHMIDT CONSULTING GROUP, INC.  
2000 JAMES L. SMITH DR  
PENSACOLA, FL 32504

**KEY PLAN**



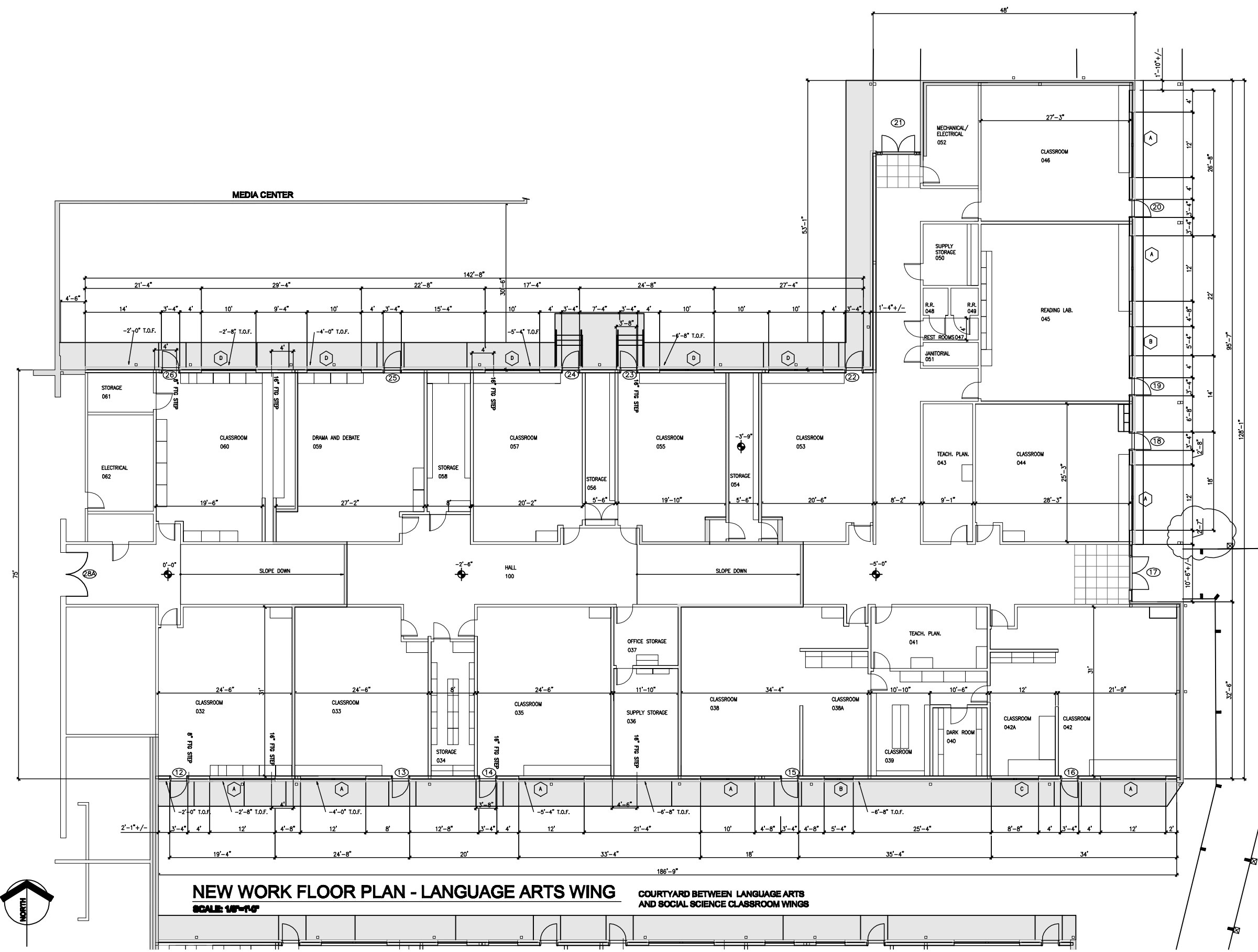
No.	Revision/Issue	Date

DRAWN BY: **kgp**  
CHECKED BY: **kgp**  
PINDER-MARTIN ASSOCIATES, INC.  
Project #: **210007.01**

Phase Review 1: **06-19-16**  
Phase 2: **06-23-16**  
Phase 3: **-**  
Final Plan Review: **-**  
Release for Bidding: **-**

**NEW WORK FLOOR PLAN**

**A2.1**  
210007.01 A2.1 - New Work



**NEW WORK FLOOR PLAN - LANGUAGE ARTS WING**  
**SCALE: 1/8"=1'-0"**

COURTYARD BETWEEN LANGUAGE ARTS  
 AND SOCIAL SCIENCE CLASSROOM WINGS



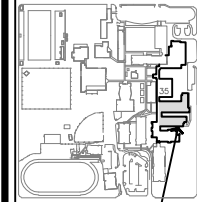
FRIEDMAN-MARTIN ASSOCIATES, INC.  
 1101 N. 125th AVENUE  
 PENSACOLA, FL 32501  
 904-433-0710  
 AAS000000

PROJECT:  
 MILTON HIGH SCHOOL  
 ENERGY UPGRADES

LOCATION:  
 MILTON HIGH SCHOOL  
 8885 STEWART STREET  
 MILTON, FLORIDA 32570

CONSULTANTS:  
 SCHMIDT CONSULTING GROUP, INC.  
 4000 UNIVERSITY BLVD. SUITE 200  
 PENSACOLA, FL 32504

**KEY PLAN**



**PROPOSED RENOVATION**

No.	Revision/Issue	Date

DRAWN BY: **Highly**  
 CHECKED BY: **mgm**  
 PROJECT: MILTON HIGH SCHOOL ENERGY UPGRADES  
 PROJECT NO: **210807.01**  
 Phase 1: **08-10-10**  
 Phase 2: **09-05-10**  
 Phase 3: **-**  
 Final Plan: **-**  
 Release for Bidding: **-**

**NEW WORK  
 FLOOR PLAN  
 LANGUAGE ARTS  
 WING**

**A2.2**  
 210807.01 A2.2 - New Work  
 Floor Plan - Language Arts Wing